

Monday 24th February 2020 - 7pm, The Roy Underdown Pavilion, Baron Road, Hamble SO31 4RY

1. Welcome

- a. Apologies for absence
- b. Declaration of interest and approved dispensations
- c. Approve minutes

2. Public Session

3. Hampshire Waste and Minerals Plan - Update

4. Hampshire Housing Hub - Information and advice on community led housing projects

5. Local Plan

- a. Policy OS 156 Update
- b. Examination update

6. Southampton City Vision: Local Plan

7. Rights of Way - ROW 505 and the England Coast Footpath

8. Traffic Regulation Orders

9. F/20/87197 - 8-9 CORONATION PARADE, HAMBLE, SO31 4JT - to note that this application has been referred to the Local Area Committee for determination

APPLICATIONS WITHIN HAMBLE PARISH

10. H/20/87177 - 23 WESTFIELD CLOSE, HAMBLE, SO31 4LG

Construction of driveway to the front to create off road parking and dropped kerb.

Consultation Ended: 14/02/2020 (extension granted for HPC comments)

11. F/20/87178 - Hamble Lifeboat mid-stream mooring, Hamble River

Retrospective application for the retention of 10no. stanchions with rope lines on three sides of existing pontoon.

Consultation Ends: 21/02/2020 (extension granted for HPC comments)

12. H/20/87186 - SPROCAR, HAMBLE LANE, HAMBLE, SO31 4HT

New front porch.

Consultation Ends: 21/02/2020 (extension granted for HPC comments)

13. T/20/87237 - TANGLEWOOD, 56 SATCHELL LANE, HAMBLE, SO31 4HL

1 no. Oak (T1): remove two branches in lower crown to improve light to lawn as indicated on included photographs.

1 no. Oak (T2): remove part of limb in poor condition reduce by no more than 3 metres and to 'knuckle' to improve tree health.

1 no. Oak (T3): lower crown only - tip reduction up to 1 metre and to appropriate growth points and crown lift as per photographs.

Consultation Ends: 27/02/2020

14. H/20/87262 - 78 SATCHELL LANE, HAMBLE, SO31 4HL

Replacement of second floor dormer roofs with flat roof.

Consultation Ends: 28/02/2020

15. H/20/87257 - 3 BARTON DRIVE, HAMBLE, SO31 4RG

Front boundary fence.

Consultation Ends: 04/03/2020

DECISIONS

16. H/19/86891 - HOUND CORNER FRUIT FARM, HAMBLE LANE, NETLEY ABBEY, SO31 5FT

Retention of out building and pellet fired boiler.

DECISION: Permit - Delegated Decision (28 Jan 2020)

17. F/19/86900 - 53 SATCHELL LANE, HAMBLE, SO31 4HZ

Proposed road side parking bay to front of property.

DECISION: Permit - Delegated Decision (28 Jan 2020)

18. H/19/86950 - 13 CERDIC MEWS, HAMBLE, SO31 4LW

New Detached Single Storey Garage.

DECISION: Permit - Delegated Decision (4 Feb 2020)

19. H/19/87052 - GREEN LEAVES, 73 SATCHELL LANE, HAMBLE, SO31 4HH

Front Porch.

DECISION: Permit - Delegated Decision (5 Feb 2020)

20. NC/20/87125 - 5 CROWSPORT, HAMBLE, SO31 4HG

Notification of intent.

1 no. Eucalyptus (T1) - fell

4 no. Eucalyptus (T2-T5) - reduce by 2 metres to reshape, keeping all cuts below 50mm.

DECISION: Raise No Objection To - Delegated Decision (7 Feb 2020)

21. T/19/87064 - 14 SYLVAN LANE, HAMBLE, SO31 4QG

Application for works under Tree Preservation Orders.

DECISION: Consent To Tree Works For - Delegated Decision (10/02/2020)

Exempt Business - To consider passing a resolution under Section 100A(4) of the Local Government Act 1972 in respect of the following items of business on the grounds that it is likely to involve the disclosure of exempt information as defined in paragraph 3 of Part 1 of Schedule 12A of the Act.

22. Enforcement Cases

Dated: 19th February 2020

Signed: Amanda Jobling, Clerk to Hamble Parish Council, Parish Office, 2 High Street, Hamble, Southampton SO31 4JE. 023 8045 3422.

UPCOMING PARISH COUNCIL MEETINGS

Personnel Committee - Monday 24th February, 2pm. TBC

Asset Management Committee - Tuesday 3rd March, 8.30am at The Roy Underdown Pavilion

Full Council - Monday 9th March, 7pm at The Roy Underdown Pavilion

Planning Committee - Monday 23rd March 2020, 7pm at The Roy Underdown Pavilion

OTHER UPCOMING PUBLIC MEETINGS

Eastleigh Borough Council Local Area Committee Meetings

Thursday 16th March, 6pm at Hamble Primary School (proposed venue)

7pm, Monday 27th January 2020, The Roy Underdown Pavilion, Baron Road, Hamble SO31 4RY

Present: Councillors: J Dajka; T Dann; J Nesbit-Bell; D Rolfe; A Thompson and I Underdown (Chair).
Clerk

Members of the Public: Cllr D Airey and 1 resident

Minute reference is 27.01.2020 + the agenda item number

1a. Apologies for absence			
None			
1b. Declaration of interest and approved dispensations			
Cllr Nesbit-Bell item 16 Cllr Dajka item 8 and 11 and 17 Cllr Dann item 9			
1.c To approve minutes of previous Council Meetings			
<u>IT WAS RESOLVED</u> to approve the Minutes of 25 th November 2019.			
Proposed	Cllr Rolfe	Seconded	Cllr Thompson
2. Public Participation			
Two members of the public attended one of which was Cllr David Airey. The other was a resident that attended with a planning application on the agenda. He outlined the changes in road and the setting of his property. Access to his dwelling is via the side but the space has been narrowed by a neighbour's wall. This is causing problems for access especially for family members who have limited mobility. The application would enable the garage to be converted to an access replacing the garage with a free-standing garage on the plot. The garage on the house will then be adapted under permitted development. The current space is used for a bin store at the moment.			
3. Local Plan			
3a. Policy OS 156 Update			
No response has been received. Chased again with the Chief Executive.			
3b. Examination Update			
The Chair highlighted the key aspects of the Local Plan examination where HA2 was considered. Members were copied into the email sent on the day to EBC outlining our concerns. EBC ward members were invited to attend the meeting to feedback from an Eastleigh Borough Council (EBC) perspective on the situation. Cllr Airey read a statement from Graham Tuck the lead specialist planning officer a copy of which is attached. In essence EBC will look to withdraw the site on the basis of the site not being sustainable. <i>Cllr Airey left at 19.53</i>			
4. Fareham Borough Council: Regulation 18 Local Plan Consultation			
Members were asked if they wished to comment on the policy - suggested that as the main interest is in the River Hamble policies that the council write to state that the policies previously published continue to receive our support			

5. Old Way Project

Members noted the designation of this route and to consider how best to accommodate it in the interpretation boards.

6. National Design Guide

Members had been sent a copy as a reference document and were asked to use it in making comments related to design issues

7. Note Delegated Authority Comments Made Over December Recess

- a. **NC/19/86957 - Corner House, School Lane, Hamble, SO31 4JD**
Notification of intent. 1 no. Ash - Crown lift to 4 metres from ground level.
HPC Comment: Lift crown but not other works.
- b. **H/19/86891 - HOUND CORNER FRUIT FARM, HAMBLE LANE, NETLEY ABBEY, SO31 5FT**
Retention of out building and pellet fired boiler
HPC Comment: Oppose subject to more information being provided.
- c. **H/19/86950 - 13 CERDIC MEWS, HAMBLE, SOUTHAMPTON, SO31 4LW**
New Detached Single Storey Garage
HPC Comment: Requested extension to deadline to enable decision at this meeting.
Applicant to attend.
- d. **F/19/86900 - 53 SATCHELL LANE, HAMBLE, SOUTHAMPTON, SO31 4HZ**
Proposed road side parking bay to front of property
HPC Comment: support
- e. **F/19/86788 - UNIT 6, COMPASS POINT, ENSIGN WAY, HAMBLE, SOUTHAMPTON, SO31 4RF**
Change of use of ground floor from office and storage use (B1 & B8 Use Classes) to a studio theatre (D1 Use Class).
HPC Comment: Concerned about this. Not a typical use on an industrial estate, inappropriate location for young people to attend and insufficient parking for performances.

These comments were noted.

APPLICATIONS WITHIN HAMBLE PARISH

8. H/19/86950 - 13 CERDIC MEWS, HAMBLE, SO31 4LW
New Detached Single Storey Garage.

To support the application but subject to a reduction in size equivalent to the loss of space from the integral garage. The living roof is supported.
Cllr Dajka left the room for the item

Proposed	Cllr Rolfe	Seconded	Cllr Nesbit-Bell
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9. F/19/86989 - GE AVIATION, KINGS AVENUE, HAMBLE, SO31 4NF
Construction of an extension to the existing B2 Industrial building.

Members noted the residents' concerns and although where supportive of the application wanted to ensure that residential amenity was protected and that strict conditions were applied to ensure that noise and air pollution were adhered to. They also wanted to ensure that for each tree lost 2 replacement trees should be planted and should be in the vicinity of the boundary to Southampton Water to screen views from the water of the site. Cllr Dann did not contribute to the discussion or the vote.

Proposed	Cllr Thompson	Seconded	Cllr Dajka
10. H/19/86984 - 14 CROWSPORT, HAMBLE, SO31 4HG New Detached Single Storey Garage.			
<p>The estate when built in the 1930's its was designed as single storey temporary accommodation for visiting sailors and was basic and functional. In recent times the estate has become an iconic feature on the river with increasingly a range of exclusive dwellings. Common to all at the moment though is that they are capped at 2 storeys. The third storey is too removed from the original nature of the estate and the built form. In addition, extending to a third storey is out of keeping with the design of the estate, creates an overbearing structure on a prominent and elevated position within the estate as well as resulting in a loss of privacy to adjoining dwellings. This is exacerbated by the fact that the terrace and third storey extend to the building line, without stepping back to reduce overlooking.</p> <p>Lastly the council did not feel that the current design did gave enough regard to the art deco window feature that in the new design is lost amongst the angles and levels of the new design.</p>			
Proposed	Cllr Dajka	Seconded	Cllr Dann
11. H/19/87052 - GREEN LEAVES, 73 SATCHELL LANE, HAMBLE, SO31 4HH Front Porch.			
Support <i>Cllr Dajka left the room for the item</i>			
Proposed	Cllr Rolfe	Seconded	Cllr Thompson
12. L/19/87069 - GE AVIATION, KINGS AVENUE, HAMBLE, SO31 4NF Remedial works to the gutters of Sydney Lodge (Building 3 on site layout plan).			
Support			
Proposed	Cllr Underdown	Seconded	Cllr Thompson
13. NC/20/87125 - 5 CROWSPORT, HAMBLE, SO31 4HG Notification of intent. 1 no. Eucalyptus (T1) - fell 4 no. Eucalyptus (T2-T5) - reduce by 2 metres to reshape, keeping all cuts below 50mm.			
Oppose the removal of the Eucalyptus. The tree is a significant tree and creates local interest to the setting of the estate. The Council would expect to see a technical report justifying its removal before reconsidering.			
Proposed	Cllr Dajka	Seconded	Cllr Dann
14. T/19/87064 - 14 SYLVAN LANE, HAMBLE, SO31 4QG 1 no. Maple - Crown reduce by 2.25 metres.			
Support			
Proposed	Cllr Thompson	Seconded	Cllr Nesbit-Bell
15. H/19/87036 - 2 TUTOR CLOSE, HAMBLE, SO31 4RU Construction of a two-storey side extension.			
Support - Tight site and does create a balance to the current building. Concerns about the treatment of the boundary with the Rail Trail.			

Proposed	Cllr Dajka	Seconded	Cllr Thompson
16. H/20/87147 - 33 VERDON AVENUE, HAMBLE, SO31 4HW Proposed two storey rear extension and alterations to fenestration.			
Support <i>Cllr Nesbit-Bell left the room for the item</i>			
Proposed	Cllr Dann	Seconded	Cllr Dajka
17. LDC/20/87171 - 69 SPITFIRE WAY, HAMBLE, SO31 4RT Lawful Development Certificate for proposed use: Conversion of existing garage into habitable accommodation.			
Support <i>Cllr Dajka left the room for the item</i>			
Proposed	Cllr Rolfe	Seconded	Cllr Dann
18. T/20/87152 - MITCHELL POINT, ENSIGN WAY, HAMBLE 1 no. Scots Pine (T1)- Crown Lift to 2.4m for statutory clearance heights over roads / footpaths. 2 no. Scots Pine (T6 & T7) - Crown Lift to 4m for statutory clearance heights over roads / footpaths.			
Support <i>Cllr Dann abstained as potential work conflict.</i>			
Proposed	Cllr Nesbit-Bell	Seconded	Cllr Thompson
19 - 30. Decisions			
Decisions on the Agenda were noted.			
EXEMPT BUSINESS			
To consider passing a resolution under Section 100A(4) of the Local Government Act 1972 in respect of the following items of business on the grounds that it is likely to involve the disclosure of exempt information as defined in paragraph 3 or Part 1, of Schedule 12A of the Act. <u>IT WAS RESOLVED</u> that in view of the confidential nature of the business to be discussed the public and press be excluded. <i>20:49 moved to Exempt Business</i>			
Proposed	Cllr Underdown	Seconded	Cllr Thompson
31. Enforcement Cases			
The Clerk updated the Committee on enforcement cases.			

Meeting ended at: 20:55

Appendix: statement from Graham Tuck dated 24th January 2020.

From: "Tuck, Graham"
Date: 24 January 2020 at 13:11:18 GMT
To: "Airey, Cllr David" <David.Airey@eastleigh.gov.uk>
Subject: RE: Policy HA2

Hello David

Policy HA2 – Mercury Marina Area

The submitted Local Plan allocates the site for a hotel and holiday accommodation.

The landowners case (MDL) is that there's no evidence of demand for a hotel, and that therefore the allocation should be broadened to include residential. It was clear to us during the course of the hearing that the Inspector agreed there was no evidence of demand for a hotel. On that basis the Inspector would be bound to find that the policy was 'unsound' in its current form and so would be looking to make a change to the approach.

We have since had the opportunity to fully discuss how we react to this as a Council. Given the Inspector's position, we've agreed that the best course of action is to simply withdraw the allocation. The Inspector has since been informed by email that the Council is withdrawing allocation HA2, and furthermore does not support an extension to the site or residential use on the site. We've stated that this is for a number of reasons:

- The ecological sensitivities of the site – and the site was discounted for residential as part of the Local Plan evidence base;
- The poor accessibility of the site – pedestrian access to key facilities (school, health centre and rail station) along an unlit, winding road with no pavement;
- The Council is already meeting its housing needs, and is directing housing away from the Hamble peninsula for the reasons discussed earlier in the examination.

The Inspector has responded via the Programme Officer that she will not be responding to our withdrawal of policy HA2 at this stage. After the hearings, the Council will make a formal decision on approving modifications for 6 weeks public consultation, including the withdrawal of policy HA2. There's no fixed timescale for this yet, but I anticipate this consultation will commence in late Spring. MDL and others, including the local community / Parish Council, will then get the chance to comment on that before the Inspector finalises her report with her modifications to the plan.

Finally, it's worth noting that the existing marina / boatyard use remains designated in the Local Plan for that use, and that is not affected by the withdrawal of policy HA2.

Open Space

The Parish Council's reference to the open space related back to a debate at a previous session.

The Local Plan allocates a site for the provision of new open space at Long Lane in Bursledon, and the landowner is objecting to this. At that previous session it was again clear that the Inspector was not supporting our approach, on the basis that our open space study demonstrates that there are no outstanding public open space needs in the area. After that session, following internal discussion, we suggested to the Inspector that we would accept that the new open space allocation at Long Lane could be withdrawn for those reasons, providing that the Old Bursledon Special Policy Area policy was strengthened to include a general criterion to protect open spaces which were important to the character of the local area.

The Inspector then resumed the discussion on this at the session that the Hamble Parish Council's Clerk / Committee Chair attended. Whilst the Inspector didn't discuss specific action points at the end of this session, our sense is she didn't accept our position on this. If that's the case then the Old Bursledon Special Policy Area and Conservation area would continue to have strong protection from development under existing policies in

the plan, and by the fact that the special policy area is designated as countryside. Furthermore the existing open spaces in the area would also continue to be protected.

I hope that helps, let me know if you have any questions

Thanks
Graham

Graham Tuck
Planning Policy Senior Specialist

From: Spriggs, Melissa

Sent: 06 February 2020 14:39

To: Clerk - Hamble Parish Council <clerk@hamblepc.org.uk>

Cc: Strategic Planning <planning@hants.gov.uk>; Kirby-Hawkes, Lisa <Lisa.Kirby.Hawkes@hants.gov.uk>

Subject: RE: Hamble Airfield - Gravel and sand extraction

Dear Amanda,

Thank you for your email. Lisa is currently on maternity leave but will be returning to work in a couple of weeks. We have also not received any recent communication from Cemex regarding the Hamble Airfield site.

In relation to the Hampshire Minerals & Waste Plan, a Review of the Plan was undertaken in 2018 to determine whether the Plan needed to be updated. The Review is available to be viewed on our website:

<https://documents.hants.gov.uk/mineralsandwaste/2018-review-mineralsandwasteplan.pdf>. The Review concluded that the Plan was still fit for purpose at that time but that certain issues needed to be kept under review. There was also a commitment to undertake a Workshop with industry and key stakeholders and to undertake a further Review in 2020. The Workshop was held last year in September and we are about to embark on the 2020 Review of the Plan.

You will note from the 2018 Review (page 86), that we contacted each of the allocated site nominees to ensure that the site was still being actively promoted. We were told at that time that an application was expected in 2019. We will repeat this exercise and the response will feed into the 2020 Review outcome.

In terms of a forthcoming application, I expect Lisa will pick this up after her return on 24th February. If you have any questions regarding the 2020 Review of the Hampshire Minerals & Waste Plan, please do not hesitate to contact me.

Kind regards,

Melissa

Melissa Spriggs

Planning Policy Manager

From: Clerk - Hamble Parish Council <clerk@hamblepc.org.uk>

Sent: 05 February 2020 15:42

To: Strategic Planning

Subject: Hamble Airfield - Gravel and sand extraction

Hi Lisa

We had contact back in 2018 at the point when the agents for Cemex were looking to commence some preliminary consultations on the gravel extraction at Hamble Airfield. Despite chasing them on numerous occasions there has been no definitive timescale set out for the pre app discussions and community consultation. Given this and the fact that the Waste and Minerals Plan is now 7 years old I wonder whether there is a review pending and if so the timescales. I'm not sure what the original intention was of the W&MP in terms of deliverability over the period of the plan, but if there are no market signals indicating a need for this site is it not reasonable that the site allocation should be reconsidered?

As I am sure you will understand, the allocation of the site has create a lot of concerns in the village and there is a genuine wish to have some certainty about the site. As time has moved on there is also a wish within the village to see more steps taken to minimise the climate emergency and we are being asked what the options are to see alternative uses on the remediated site such as community woodland and solar farm. We are hoping to start a neighbourhood plan sometime after May 2020(we have elections then) and would want to start these discussions with you.

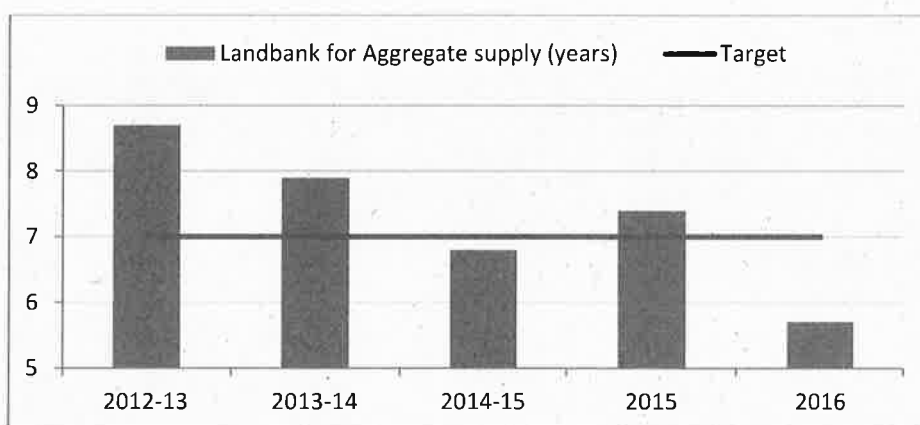
An update and some thoughts on these issues would be much appreciated.

Best wishes.

Amanda Jobling, Clerk

Local land-won aggregate (Policy 20)

- 4.51 Policy 20 seeks to maintain of the landbank for 7 years of permitted reserves of sand and gravel through: the extraction of remaining reserves at permitted sites as listed; extensions to specific sites listed; new listed sand and gravel allocations; and new proposals which meet the criteria in 20 (4).
- 4.52 The landbank is monitored annually to ensure that sufficient supply is provided. Although, the monitoring trigger is a breach of the 7 years over two years, there have been two occurrences in the 5-year period where the landbank has fallen below 7 years and in 2016 the landbank dropped significantly to 5.71 years (calculated against the Local Requirement rate). Therefore, the provision specified in the NPPF of at least seven years³⁴ has not been met.



- 4.53 Part 2 and 3 of Policy 20 outline specific sites which have been allocated as being suitable for development. Table 5 highlights the status of each of the allocations, as of June 2018.

Table 5: HMWP Allocation status in 2018

Site	Proposal	Permitted?	Other information
Bleak Hill Quarry extension	Sand & gravel extraction	No	Application expected 2018
Bramshill Quarry extension	Sand & gravel extraction	No	Application expected 2018
Cutty Brow	Sand & gravel extraction	No	Application not currently anticipated.
Forest Lodge Home Farm	Sand & gravel extraction	Yes ³⁵	Extraction due to commence in 2018.

³⁴ NPPF (Para. 207) -

https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/733637/National_Planning_Policy_Framework_web_accessible_version.pdf

³⁵ Forest Lodge Farm Application - <https://planning.hants.gov.uk/ApplicationDetails.aspx?RecNo=17774>

Hamble Airfield	Sand & gravel extraction	No	Application expected 2019
Purple Haze	Sand & gravel extraction and reserve landfill	No	The allocation is still being actively promoted and an application is expected in the near future ³⁶ .
Roeshot	Sand & gravel extraction	No Planning application has been submitted ³⁷ .	Planning application submitted but is yet to be determined.

4.54 Policy 20 recognises that there is a shortfall in supply despite the allocated sites and this is expected to be met through unplanned opportunities. During the 5-year period, the opportunities in Table 6 have contributed to (or may) sand and gravel supply.

Table 6: Unplanned opportunities

Site	Proposal	Permitted	Other information
Kingsley Quarry Extension	Soft sand and silica sand extraction	No Planning application has been submitted ³⁸ .	Planning application is yet to be determined.
Downton Manor Farm Extension	Sand & gravel extraction	Yes (subject to the completion of a S106 agreement) ³⁹	Extraction area extended by 18.4 ha. Estimated tonnage of 760,000 tonnes of sand and gravel, at an extraction rate of between 70,000 – 150,000 tonnes per year. Associated planning application 17/11392 extended the life of the site for a further 15 years from the date of the permission.
Roke Manor Farm Extension	Sand & gravel extraction	No, planning application has been submitted ⁴⁰	Planning application is yet to be determined.
Frith End Quarry	Importation of aggregate.	Yes ⁴¹	Importation, handling and re-sale of soft sand from Whitehill Bordon Relief Road scheme. Estimated tonnage of 0.048Mt.

³⁶ Source: Correspondence with David Jarvis Associates on behalf of the Somerley Estate (18/06/2018)

³⁷ Roeshot Application - <https://planning.hants.gov.uk/ApplicationDetails.aspx?RecNo=17204>

³⁸ Kingsley Quarry Extension Application - <https://planning.hants.gov.uk/ApplicationDetails.aspx?RecNo=19368>

³⁹ Downton Manor Farm Extension Application - <https://planning.hants.gov.uk/ApplicationDetails.aspx?RecNo=18645>

⁴⁰ Roke Manor Farm Extension Application - <https://planning.hants.gov.uk/ApplicationDetails.aspx?RecNo=18831>

⁴¹ Frith End Application - <https://planning.hants.gov.uk/ApplicationDetails.aspx?RecNo=19598>



Launch of the new community-led & rural housing hub for Hampshire

- Learn more about successful schemes around the country
- Hear a range of leading speakers
- Enjoy lunch & networking opportunities
- Meet the Hampshire Homes Hub team
- Find out what services are available for local communities

Tuesday 24 March 2020. 12 noon registration & lunch. Finish 4.30pm.

The event is free but you will need to register at
<https://www.eventbrite.co.uk/e/91784609237>

Thought house-building was just something 'professionals' could do? Think again!

Community led housing is a growing movement of normal people taking action and managing housing projects that build the decent and affordable homes that the country so desperately needs.

Anyone can start, volunteer and deliver a community led housing project. You don't need to work in housing, you don't need a degree in architecture, you don't need to be a builder. If you think a change is needed, you can lead that change.

Community led housing offers something for everyone

- For people on a range of different incomes
- For specific groups of people
- For people who want to rent or buy
- For groups wanting to build new homes or refurbish existing buildings

What it is and what it isn't

Community led housing is where:

1. Open and meaningful community participation and consent takes place throughout the process.
2. The community group or organisation owns, manages or stewards the homes in whichever way they decide to.
3. The housing development is of true benefit for the local community, a specific group of people (an intentional community), or both. These benefits should also be legally protected in perpetuity.

Community led housing is not:

- A tokenistic consultation
- A housing association scheme with the backing of a parish council or community
- A bog-standard housing development

This website focuses on six particular types of community led housing: cohousing, community land trusts (CLTs), community self-build, development trusts, housing co-operatives and self-help housing.

What is Southampton City Vision?

Southampton City Vision will be our new Local Plan, a document that will set out the future development of new homes, work spaces, infrastructure and facilities across the city over the next 20 years and beyond.

What is a Local Plan?

A Local Plan is a document (or collection of documents) that sets out policies to help guide the development of an area over a period of at least 15 years. Each Local Planning Authority is required to produce a Local Plan and keep it up to date.

The Local Plan must set out how the Local Planning Authority is going to deliver space for new homes, workspaces and all the infrastructure and facilities that will be needed to support them, whilst also protecting and enhancing the local environment.

Overall, the Local Plan's role is to make sure that development happens in a coordinated way, and is collectively delivering all that is required for the local area.

Our vision

Much has changed in Southampton since our various local plan documents were published. We therefore intend for Southampton City Vision to replace some these older documents in order to provide new, up-to-date and relevant planning policies. For more detailed information about the plan preparation process and to view our Southampton City Vision timetable please see our new [Preparing our Development Plans](#) document.

The council wants Southampton City Vision to be a place shaping tool that is both city wide and community focussed, meeting the development needs of the city whilst recognising the needs and diversity of individual communities.

Developing the Southampton City Vision document will be a lengthy process that will bring together a wide number of technical studies and all the information collected through our consultation

exercises. For more detailed information about consultations in planning matters please see our new [Involving You in Planning](#) document.

One of the main challenges of producing this plan is to ensure that we address the city's key issues whilst meeting the Government's and legal requirements.

To meet these requirements, our plan will have to:

- Identify land for new homes and workspaces, maximising the potential of space available
- Provide necessary infrastructure and facilities to support the growth of the city
- Protect and enhance the environment

However, we would also like our plan to:

- Recognise individual neighbourhood identities
- Connect us with our waterfront
- Encourage growth and further investment in the city

So, where are we now?

We are currently at the start of the plan preparation process, part of which involves conducting an initial consultation exercise to ensure we have a good understanding of what people and businesses in the city need.

This initial consultation, which runs from 10 February to midnight on 19 April 2020, is your opportunity to start shaping the plan. To have your say on the future of your city or to find out more about the consultation and local events click the link below.

[Have your say](#)

If you have any further queries about Southampton City Vision, please contact us at local.plan@southampton.gov.uk.

Date	Venue	Ward	Time
12 February 2020	Roundabout Café	Swaythling	4-8pm
19 February 2020	October Books	Portswood	3-7pm
21 February 2020	St James Park Café	Shirley	12-4pm
25 February 2020	Freemantle Community Centre	Millbrook	12.30-4.30pm
27 February 2020	Townhill Park Community Centre	Bitterne Park	3-7pm
3 March 2020	The Saints Pub	Redbridge	3-7pm
4 March 2020	West Quay, Above Bar Mall (Level 3, outside Next)	Bargate	9am-5pm
10 March 2020	Centenary Quay Library	Woolston	1-5pm
11 March 2020	Lordshill Library	Coxford	1-5pm
17 March 2020	The Marlands (Flourish, Ground Floor)	Bargate	12-4pm
18 March 2020	Bitterne Market	Bitterne	8am-1pm

Development Management

Eastleigh House, Upper Market Street, Eastleigh, SO50 9YN

Tel: 023 8068 8264 www.eastleigh.gov.uk

Office hours: Mon-Thurs 8.30am - 5pm, Friday 8.30am - 4.30pm



Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	23
Suffix	
Property name	
Address line 1	Westfield Close
Address line 2	
Address line 3	
Town/city	Hamble-Le-Rice
Postcode	SO31 4LG
Description of site location must be completed if postcode is not known:	
Easting (x)	447429
Northing (y)	106840
Description	

2. Applicant Details

Title	Mr
First name	Jack
Surname	Davis
Company name	
Address line 1	23
Address line 2	Westfield Close
Address line 3	
Town/city	Hamble-Le-Rice
Country	

2. Applicant Details

Postcode

SO31 4LG

Primary number

Secondary number

Fax number

Email address

Are you an agent acting on behalf of the applicant? ☐ Yes ☒ No

3. Agent Details

No Agent details were submitted for this application

4. Description of Proposed Works

Please describe the proposed works:

Construct a new driveway outside the front of the house, to create off road parking.
Install new drainage
Installation of drop kerb to gain access to new driveway

Has the work already been started without consent? ☐ Yes ☒ No

5. Materials

Does the proposed development require any materials to be used? ☒ Yes ☐ No

Please provide a description of existing and proposed materials and finishes to be used (including type, colour and name for each material):

Vehicle access and hard standing	
Description of existing materials and finishes (optional):	Decorative gravel in a raised area
Description of proposed materials and finishes:	Paviors TBC

Are you supplying additional information on submitted plans, drawings or a design and access statement? ☒ Yes ☐ No

If Yes, please state references for the plans, drawings and/or design and access statement

Existing and proposed sections and plan - SSS201003-GA-001

6. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development? ☒ Yes ☐ No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Existing and proposed sections and plan - SSS201003-GA-001

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? ☒ Yes ☐ No

If Yes, please show on your plans, indicating the scale, which trees by giving them numbers (e.g. T1, T2 etc) and state the reference number of any plans or drawings:

Existing and proposed sections and plan - SSS201003-GA-001

7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

☒ Yes ☐ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

☐ Yes ☒ No

If Yes to any questions, please show details on your plans or drawings and state their reference numbers:

Existing and proposed sections and plan - SSS201003-GA-001

3. Parking

Will the proposed works affect existing car parking arrangements?

☒ Yes ☐ No

If Yes, please describe:

Drive will create 2 off road parking spaces and remove 1 on road parking space

9. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes ☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- ☐ The agent
☒ The applicant
☐ Other person

10. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

11. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- a) a member of staff
b) an elected member
c) related to a member of staff
d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

☐ Yes ☒ No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

12. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE B - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate Under Article 14

I certify/The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner* and/or agricultural tenant** of any part of the land or building to which this application relates.

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural tenant' has the meaning given in section 65(8) of the Town and Country Planning Act 1990

Owner/Agricultural Tenant

12. Ownership Certificates and Agricultural Land Declaration

Name of Owner/Agricultural Tenant	
Number	
Suffix	
House Name	The Castle
Address line 1	
Address line 2	
Town/city	Winchester
Postcode	SO23 8UJ
Date notice served (DD/MM/YYYY)	17/02/2020

Person role

- ☒ The applicant
☐ The agent

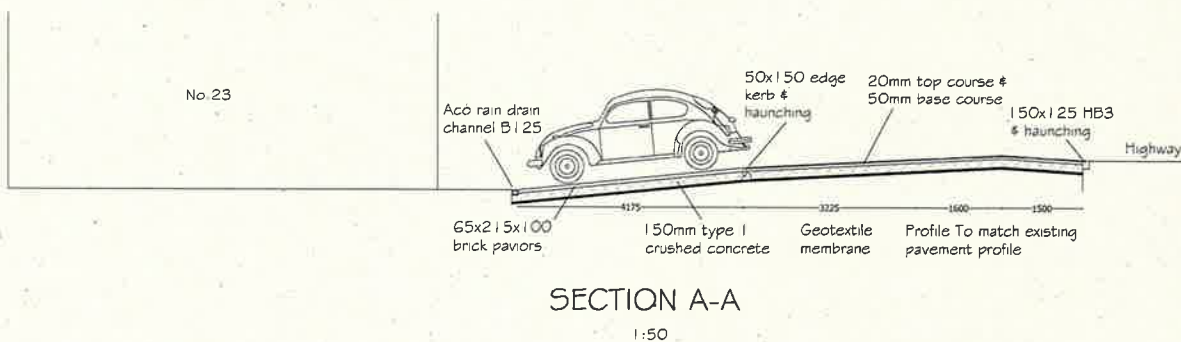
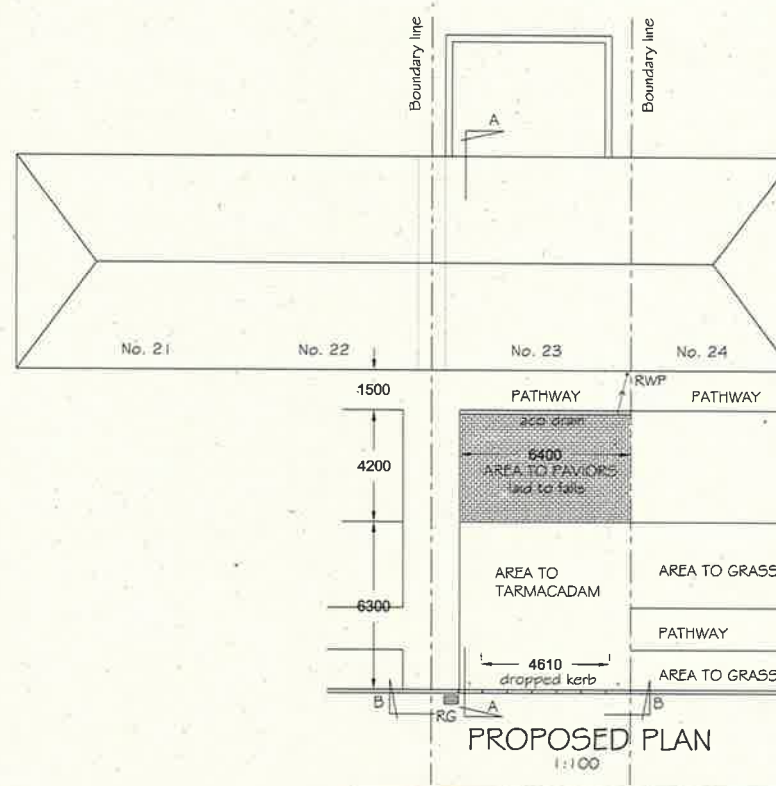
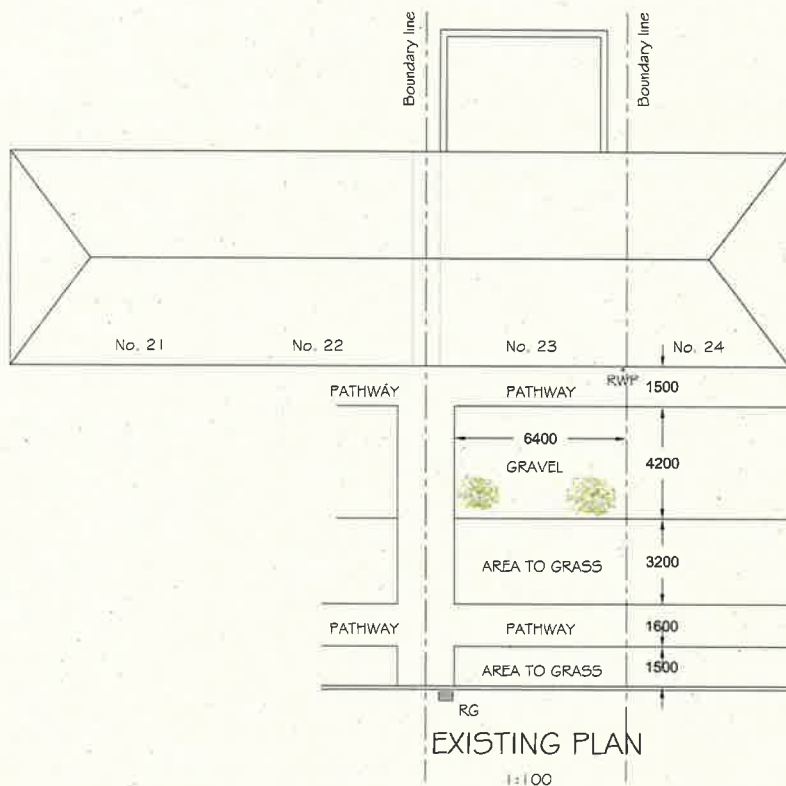
Title	Mr
First name	Jack
Surname	Davis
Declaration date (DD/MM/YYYY)	20/01/2020

☒ Declaration made

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them. ☒

Date (cannot be pre-application)	20/01/2020
----------------------------------	------------



VIEW ON AREA TO RECEIVE DRIVEWAY

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2. Southern Structural Surveys Ltd reserve the right to revise this drawing at any time.
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NOTES

1. IF IN DOUBT CONTACT THE ENGINEER.
2. ENGINEER MUST BE INFORMED OF ANY VARIATIONS FOUND ON SITE OF INFORMATION SHOWN ON THIS DRAWING.
3. CORRECT SETTING OUT IS THE CONTRACTOR'S RESPONSIBILITY.
3. DO NOT RELY ON SCALED DIMENSIONS.
4. ALL DIMENSIONS TO BE CONFIRMED BY CONTRACTOR ON SITE PRIOR TO ORDERING OF MATERIALS OR COMMENCEMENT OF WORKS.
5. CONTRACTOR TO MAINTAIN STABILITY OF ALL STRUCTURES, EARTHWORKS, HIGHWAYS ETC. DURING THE WORKS.
6. ALL EXCAVATIONS TO BE UNDERTAKEN IN ACCORDANCE WITH HEALTH AND SAFETY EXECUTIVE (HSE) GUIDELINES.
7. MACHINE EXCAVATION ADJACENT TO BURIED SERVICES NOT RECOMMENDED. CONTRACTOR TO LOCATE SERVICES AND TAKE APPROPRIATE PRECAUTIONS.
8. EXCAVATION TO BE COVERED OVER IN PERIODS OF WET WEATHER WITH WATERPROOF TARP OR SIMILAR.

#	INITIAL ISSUE	By	Check	Date
1				

Southern Structural Surveys Ltd

CONSULTING CIVIL AND STRUCTURAL ENGINEERS

HEAD OFFICE
5 Monmouth Close
Ringwood, BH24 3AL
Tel: 01429 511981 Mob: 07426 78800
E-mail: enquiries@southernstructuralsurveys.co.uk
Web: www.southernstructuralsurveys.co.uk

Drawn

Mr J Davis

Approved

Project Title

23 Westfield Close
Hamble
SO31 4LG

Drawing Title

EXISTING AND PROPOSED
SECTIONS AND PLAN

Issue Status

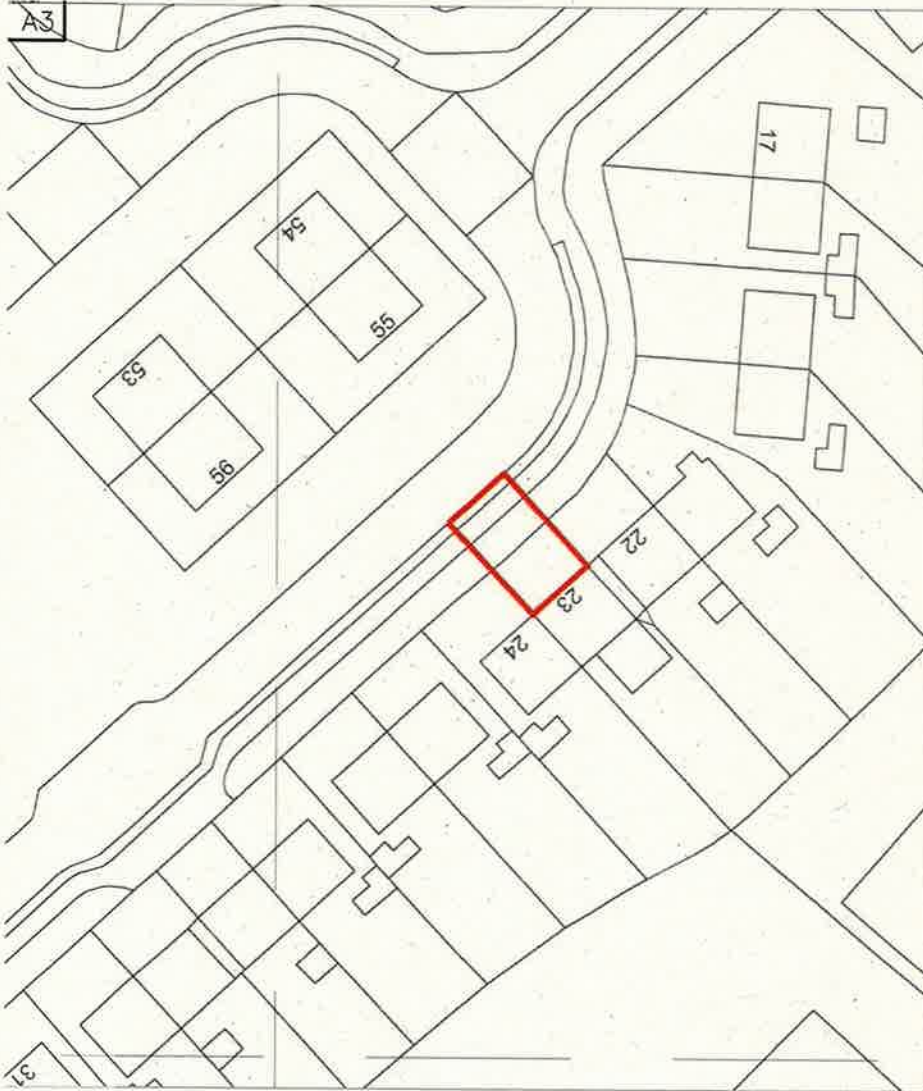
FOR BUILDING REGULATION
APPROVAL

Date

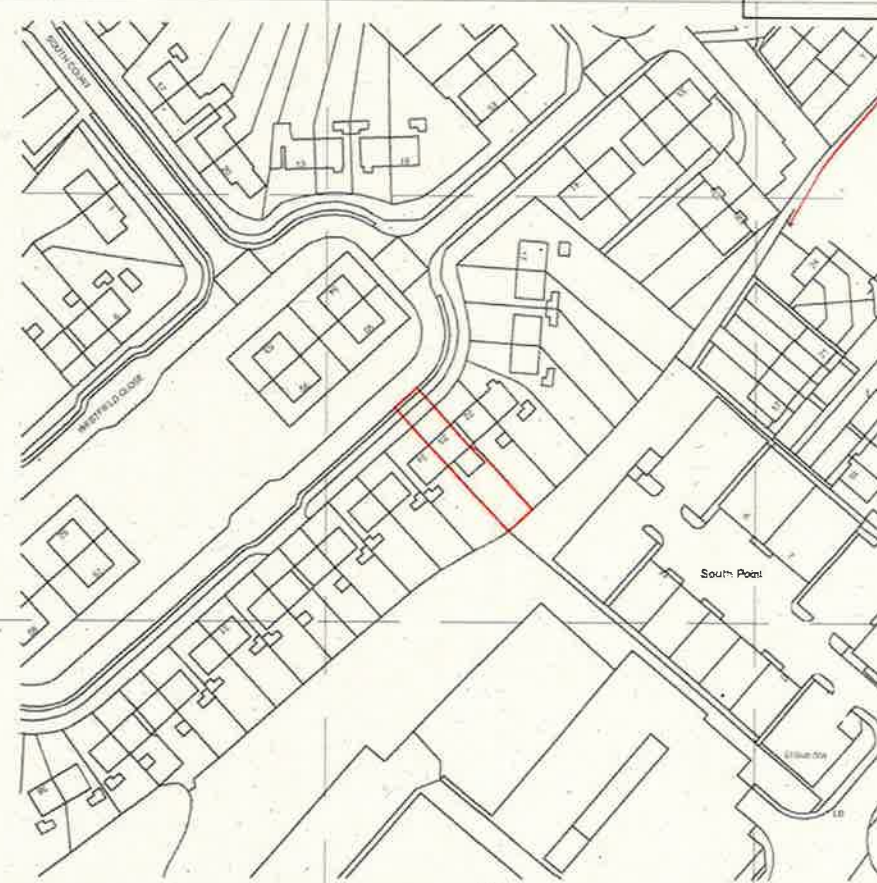
10/01/20 AS SHOWN SAC GMP

Drawing No

SSS201003-GA-001 #



SITE PLAN 1:500



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LOCATION PLAN 1:1250

AERIAL VIEW NTS



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 6. All dimensions should be confirmed and agreed with Southern Structural Surveys Ltd prior to commencement of any works.

INITIAL	ISSUE	SAC	CONF	DATE

Southern Structural Surveys

CONSULTING CIVIL AND STRUCTURAL ENGINEERS

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BOLTON, BOLTON, LANCASHIRE
M40 1JH
TEL: 01204 788888 FAX: 01204 788889
EMAIL: info@southernstructural.co.uk
WWW: www.southernstructural.co.uk

Mr JACK DAVIS

23 WESTFIELD CLOSE,
HAMBLE-LE-RICE,
HAMPSHIRE
SO31 4LG

LOCATION AND SITE PLAN

PLANNING APPROVAL			
DATE	AS SHOWN	SAC	QWP
12/01/2020			
SSS201003-GA-002			

Development Management

Eastleigh House, Upper Market Street, Eastleigh, SO50 9YN

Tel: 023 8068 8264 www.eastleigh.gov.uk

Office hours: Mon-Thurs 8.30am - 5pm, Friday 8.30am - 4.30pm



Application for Planning Permission and for relevant demolition of an unlisted building in a conservation area Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	<input type="text"/>
Suffix	<input type="text"/>
Property name	<input type="text"/>
Address line 1	<input type="text"/>
Address line 2	<input type="text"/>
Address line 3	<input type="text"/>
Town/city	<input type="text"/>
Postcode	<input type="text"/>

Description of site location must be completed if postcode is not known:

Easting (x)	<input type="text" value="448521"/>
Northing (y)	<input type="text" value="106665"/>

Description

Hamble Lifeboat mid-stream mooring, Hamble River

2. Applicant Details

Title	<input type="text"/>
First name	<input type="text" value="Steve"/>
Surname	<input type="text" value="Emery"/>
Company name	<input type="text" value="Hamble Lifeboat Ltd"/>
Address line 1	<input type="text" value="83 Satchell Lane"/>
Address line 2	<input type="text" value="Hamble"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Southampton"/>
Country	<input type="text" value="United Kingdom"/>

2. Applicant Details

Postcode	SO31 4HH
Primary number	
Secondary number	
Fax number	
Email address	

Are you an agent acting on behalf of the applicant?

☐ Yes ☒ No

3. Agent Details

No Agent details were submitted for this application

4. Site Area

What is the measurement of the site area?
(numeric characters only).

20.00

Unit

sq.metres

5. Description of the Proposal

Please describe details of the proposed development or works including any change of use and details of the proposed demolition.

If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.

Hamble Lifeboat requires to add rope safety lines supported by stanchions on 3 sides of the existing pontoon with a gap on the longer side to allow access from the boarding boat.
Please see attached document for further information.

Has the work or change of use already started?

☒ Yes ☐ No

If Yes, please state the date when the work or change of use started (date must be pre-application submission)

14/09/2019

Has the work or change of use been completed?

☒ Yes ☐ No

If Yes, please state the date when the work or change of use was completed (date must be pre-application submission)

14/12/2019

6. Explanation for Proposed Demolition Work

Why is it necessary to demolish all or part of the building(s) and/or structure(s)?

N/A

7. Existing Use

Please describe the current use of the site

Lifeboat operations since 1974

Is the site currently vacant?

☐ Yes ☒ No

7. Existing Use

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

- Land which is known to be contaminated☐ Yes ☒ No
- Land where contamination is suspected for all or part of the site☐ Yes ☒ No
- A proposed use that would be particularly vulnerable to the presence of contamination☐ Yes ☒ No

3. Materials

Does the proposed development require any materials to be used?☐ Yes ☒ No

Please provide a description of existing and proposed materials and finishes to be used (including type, colour and name for each material):

Boundary treatments (e.g. fences, walls)	
Description of existing materials and finishes (optional):	
Description of proposed materials and finishes:	Qty 10 plastic stanchions 1m high. Standard colour from manufacturer is yellow.

Are you supplying additional information on submitted plans, drawings or a design and access statement?☐ Yes ☒ No

3. Pedestrian and Vehicle Access, Roads and Rights of Way

- Is a new or altered vehicular access proposed to or from the public highway?☐ Yes ☒ No
- Is a new or altered pedestrian access proposed to or from the public highway?☐ Yes ☒ No
- Are there any new public roads to be provided within the site?☐ Yes ☒ No
- Are there any new public rights of way to be provided within or adjacent to the site?☐ Yes ☒ No
- Do the proposals require any diversions/extinguishments and/or creation of rights of way?☐ Yes ☒ No

10. Vehicle Parking

Is vehicle parking relevant to this proposal?☐ Yes ☒ No

11. Trees and Hedges

- Are there trees or hedges on the proposed development site?☐ Yes ☒ No
- And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?☐ Yes ☒ No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of your local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

12. Assessment of Flood Risk

- Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)☐ Yes ☒ No
- If Yes, you will need to submit a Flood Risk Assessment to consider the risk to the proposed site.
- Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?☒ Yes ☐ No

12. Assessment of Flood Risk

Will the proposal increase the flood risk elsewhere? ☐ Yes ☒ No

How will surface water be disposed of?

☐ Sustainable drainage system

☒ Existing water course

☐ Soakaway

☐ Main sewer

☐ Pond/lake

13. Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species:

- ☐ Yes, on the development site
- ☐ Yes, on land adjacent to or near the proposed development
- ☒ No

b) Designated sites, important habitats or other biodiversity features:

- ☐ Yes, on the development site
- ☐ Yes, on land adjacent to or near the proposed development
- ☒ No

c) Features of geological conservation importance:

- ☐ Yes, on the development site
- ☐ Yes, on land adjacent to or near the proposed development
- ☒ No

14. Foul Sewage

Please state how foul sewage is to be disposed of:

- ☐ Mains Sewer
- ☐ Septic Tank
- ☐ Package Treatment plant
- ☐ Cess Pit
- ☐ Other
- ☒ Unknown

Are you proposing to connect to the existing drainage system? ☐ Yes ☒ No ☐ Unknown

15. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste? ☐ Yes ☒ No

Have arrangements been made for the separate storage and collection of recyclable waste? ☐ Yes ☒ No

16. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste? ☐ Yes ☒ No

17. Residential/Dwelling Units

Due to changes in the information requirements for this question that are not currently available on the system, if you need to supply details of Residential/Dwelling Units for your application please follow these steps:

1. Answer 'No' to the question below;
2. Download and complete this supplementary information template (PDF);
3. Upload it as a supporting document on this application, using the 'Supplementary information template' document type.

This will provide the local authority with the required information to validate and determine your application.

Does your proposal include the gain, loss or change of use of residential units?

☐ Yes ☒ No

18. All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

☐ Yes ☒ No

19. Employment

Will the proposed development require the employment of any staff?

☐ Yes ☒ No

20. Hours of Opening

Are Hours of Opening relevant to this proposal?

☐ Yes ☒ No

21. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

Is the proposal for a waste management development?

☐ Yes ☒ No

If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make it clear what information it requires on its website

22. Hazardous Substances

Does the proposal involve the use or storage of any hazardous substances?

☐ Yes ☒ No

23. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes ☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- ☐ The agent
☒ The applicant
☐ Other person

24. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

25. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- a) a member of staff
b) an elected member
c) related to a member of staff
d) related to an elected member

25. Authority Employee/Member

It is an important principle of decision-making that the process is open and transparent.

☐ Yes ☒ No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

26. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE C - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

certify/The applicant certifies that: - Neither Certificate A or B can be issued for this application - All reasonable steps have been taken to find out the names and addresses of the other owners* and/or agricultural tenants of the land or building, or of a part of it, but I have/the applicant has been unable to do so.**

*** 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural tenant' has the meaning given in section 65(8) of the Town and Country Planning Act 1990.**

The steps taken were:

Owner is not applicable for the river. Crown Estate administer licencing for the moorings. River Hamble Harbour Authority also have an interest.

I have/the applicant has given the requisite notice to the persons specified below being persons who, on the day 21 days before the date of this application, were owners/agricultural tenants of any part of the land to which this application relates.

Owner/Agricultural Tenant

Name of Owner/Agricultural Tenant	
Number	15
Suffix	
House Name	
Address line 1	The Boatyard Swan
Address line 2	Swanwick Shore
Town/city	Southampton
Postcode	SO31 1ZL
Date notice served (DD/MM/YYYY)	16/01/2020

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated)

Not applicable

On the following date (which must not be earlier than 21 days before the date of the application) (DD/MM/YYYY)

16/01/2020

Person role

- ☒ The applicant
☐ The agent

Title	Mr
First name	
Surname	Emery
Declaration date (DD/MM/YYYY)	16/01/2020

26. Ownership Certificates and Agricultural Land Declaration

☒ Declaration made

27. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them. ☒

Date (cannot be pre-application) 16/01/2020

Design and Access Statement

15-Jan-2020

Installation of safety lines supported by stanchions to the existing modular pontoon.

The pontoon is 10m long and 2m wide and moored between existing mooring buoys opposite the Lifeboat slipway in the River Hamble.

The stanchions are 1m tall, 80mm diameter, and designed to fit the modular pontoon and secured to the pontoon section interlocking brackets. The stanchions, securing nuts and spacers are moulded from High Density Polyethylene (HDPE). Loops are provided to attach safety lines which are 14mm diameter polyester rope.



Figure 2- CAD drawing showing fixing of stanchions

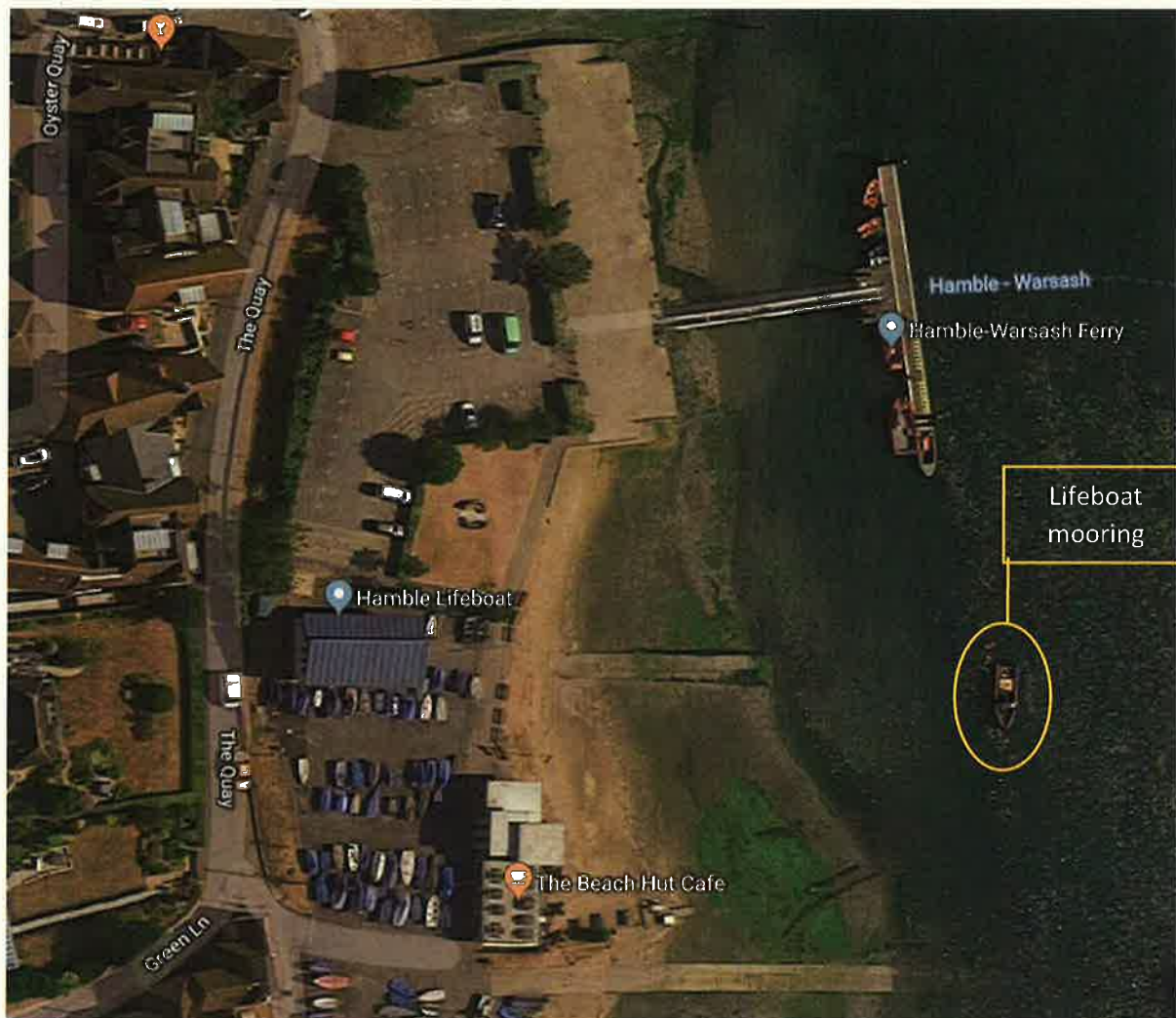


Figure 1- Manufacturer's catalogue picture (Note: the existing pontoon uses dark grey coloured sections, not light grey as shown)



Figure 3- View of pontoon with Lifeboat from the shore

Hamble Lifeboat Mooring Site Plan



Planning application PP-08391930 – details of the proposal

Hamble Lifeboat requires to add rope safety lines supported by stanchions on 3 sides of the existing pontoon with a gap on the longer side to allow access from the boarding boat. The stanchions and safety lines provide

- a) Physical support for crew transferring to and from the boarding boat; and
- b) A barrier to prevent crew who are launching and recovering the lifeboat from stepping or slipping off the edges of the pontoon.

Other means of ensuring crew safety have been considered, including the use of clip-on safety lines. These solutions create additional hazards such as tripping, with the result that the probability of a crewperson entering the water is increased.

If a crewperson inadvertently entered the water while launching:

- a) The typically strong current might prevent the person from regaining the pontoon;
- b) The mooring lines and buoys present a risk of injury; and
- c) The person would be unable to continue with the Lifeboat service before replacing his or her equipment.

This would cause at best significant delay to the launch of the Lifeboat, which places the casualty (to which the Lifeboat is launching) at additional risk, and may result in consequent injury or loss of life.

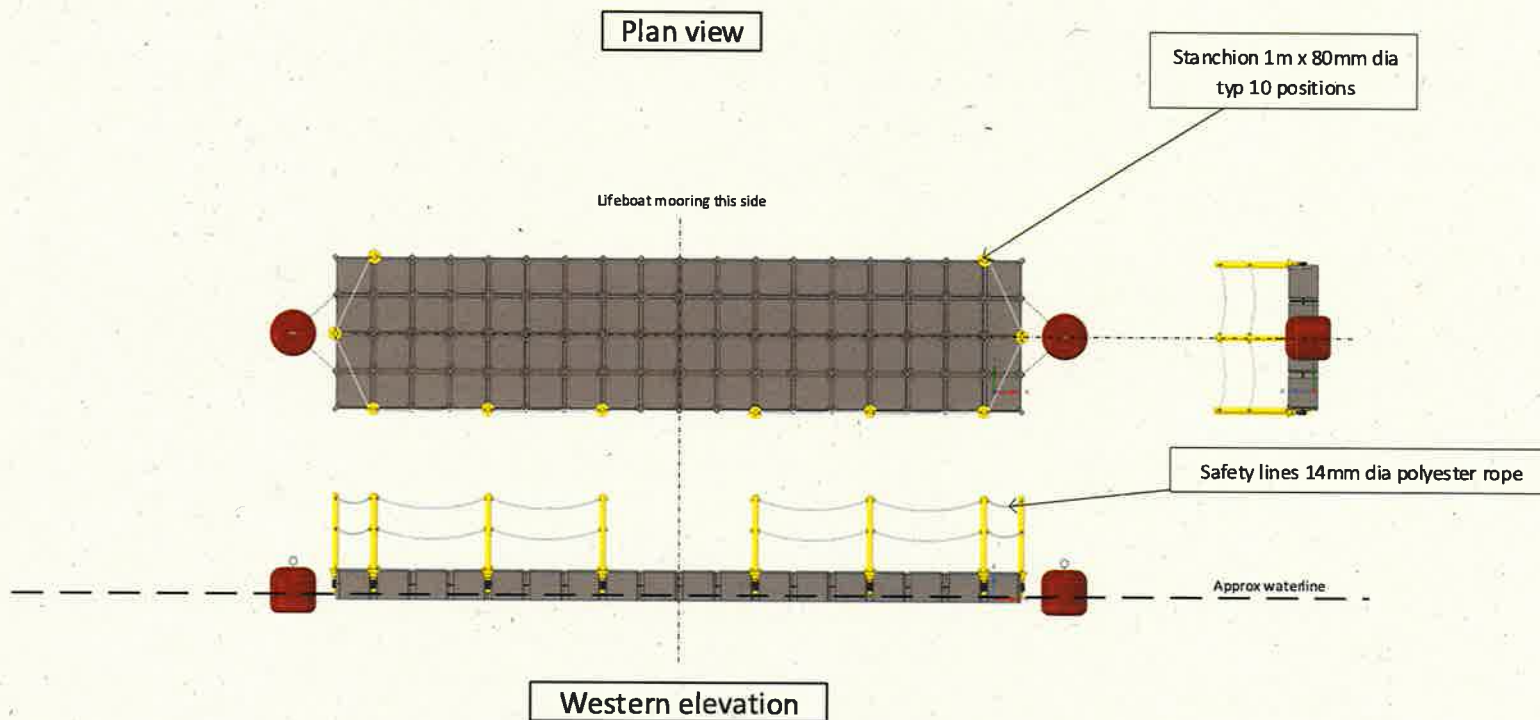
We acknowledge that not all mid-river pontoons are equipped with safety lines, but the Ferry pontoon is fitted with railings to safeguard passengers boarding the ferry. The private pontoons and the Ferry pontoon are typically used only in good weather and daylight hours, while the Lifeboat must launch in adverse conditions at any time of the day or night. The crew are required to launch the Lifeboat rapidly so there are risks attendant with the launch and recovery of the Lifeboat that are not present in the other use cases. While the crew receive training to ensure a safe system of work and reduce operational risks, the probability of an accident must be assessed as high in these circumstances.

While the Lifeboat pontoon is not for Public use, Sections 2 and 3 of the Health & Safety at Work Act 1974 (HSWA) imposes a duty on an employer “to ensure, so far as is reasonably practicable, the health, safety and welfare at work of all his employees” and “to conduct his undertaking in such a way as to ensure, so far as is reasonably practicable, that persons not in his employment who may be affected thereby are not exposed to risks to their health and safety”.

The Health & Safety Executive (HSE) have established the principle in risk management– that the risks are As Low As Reasonably Practicable (ALARP). In other words, employers are required to adopt safety measures unless the cost (in terms of money, time or trouble) is grossly disproportionate to the risk reduction. Once all such measures have been adopted, the risks are said to be ALARP. The HSE states “Deciding whether a risk is ALARP can be challenging because it requires duty-holders and us to exercise judgement.”

While Lifeboat operations carry inherent risk, Hamble Lifeboat Ltd has a duty to reduce these risks to ALARP. In its judgement, alternative safety systems such as outlined above do not meet the ALARP requirement, since not all identified risks are adequately contained and the cost of implementing additional safety measures, as proposed, are not disproportionate.

Therefore, we submit that the Lifeboat pontoon has a unique purpose in the Hamble River. Any structure that will expedite the launch of the Lifeboat while providing, so far as possible, a safe working environment for the crew, should not be opposed.



Scale 1:100

Development Management

Eastleigh House, Upper Market Street, Eastleigh, SO50 9YN

Tel: 023 8068 8264 www.eastleigh.gov.uk

Office hours: Mon-Thurs 8.30am - 5pm, Friday 8.30am - 4.30pm



Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	<input type="text"/>
Suffix	<input type="text"/>
Property name	<input type="text" value="Sprocmar"/>
Address line 1	<input type="text" value="Hamble Lane"/>
Address line 2	<input type="text"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Hamble-Le-Rice"/>
Postcode	<input type="text" value="SO31 4HT"/>
Description of site location must be completed if postcode is not known:	
Easting (x)	<input type="text" value="447373"/>
Northing (y)	<input type="text" value="108458"/>
Description	<input type="text"/>

2. Applicant Details

Title	<input type="text"/>
First name	<input type="text" value="Mark"/>
Surname	<input type="text" value="Martin"/>
Company name	<input type="text"/>
Address line 1	<input type="text" value="Sprocmar"/>
Address line 2	<input type="text" value="Hamble Lane"/>
Address line 3	<input type="text" value="Hamble Le Rice"/>
Town/city	<input type="text" value="Southampton"/>
Country	<input type="text"/>

2. Applicant Details

Postcode	SO31 4HT
Primary number	
Secondary number	
Fax number	
Email address	

Are you an agent acting on behalf of the applicant?

☐ Yes ☒ No

3. Agent Details

No Agent details were submitted for this application

4. Description of Proposed Works

Please describe the proposed works:

Removal of an existing dilapidated porch, and replacing it with a new timber frame porch to compliment the appearance of both the original house, and recently constructed rear extension.

Has the work already been started without consent?

☐ Yes ☒ No

5. Materials

Does the proposed development require any materials to be used?

☒ Yes ☐ No

Please provide a description of existing and proposed materials and finishes to be used (including type, colour and name for each material):

Walls	
Description of existing materials and finishes (optional):	Single skin brickwork, unfinished
Description of proposed materials and finishes:	Insulated timber frame construction with plaster finish internally and wood grain textured cement board in traditional red colour externally.

Roof	
Description of existing materials and finishes (optional):	Plain concrete tiles with double camber.
Description of proposed materials and finishes:	Plain concrete tiles with double camber, to match existing.

Windows	
Description of existing materials and finishes (optional):	Single glazed with softwood frames.
Description of proposed materials and finishes:	Double glazed with hardwood frames.

Doors	
Description of existing materials and finishes (optional):	The existing single glazed door has been removed to prevent damage to the poorly constructed brickwork panels.
Description of proposed materials and finishes:	Painted hardwood, with double glazed panels.

5. Materials

Are you supplying additional information on submitted plans, drawings or a design and access statement?

☒ Yes ☐ No

If Yes, please state references for the plans, drawings and/or design and access statement

Site Location Plan 2020-SLP1
Site Layout Plan 2020-SLP2
Existing Elevations 2020-ELEX1, 2020-ELEX2, 2020-ELEX3, 2020-EL4
Proposed Elevations 2020-ELPR1, 2020-ELPR2, 2020-ELPR3
Design and Access Statement

6. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development?

☒ Yes ☐ No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Site Layout Plan 2020-SPL2

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

☐ Yes ☒ No

7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

☐ Yes ☒ No

8. Parking

Will the proposed works affect existing car parking arrangements?

☒ Yes ☐ No

If Yes, please describe:

The proposed porch will extend further into the front drive. However, there will remain ample parking space for a property of this size. There are no delineated parking bays, as the space available does not require there to be any.

9. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes ☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- ☐ The agent
☒ The applicant
☐ Other person

10. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

11. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- a) a member of staff
b) an elected member
c) related to a member of staff
d) related to an elected member

11. Authority Employee/Member

It is an important principle of decision-making that the process is open and transparent.

☐ Yes ☒ No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

12. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

*** 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.**

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the and is, or is part of, an agricultural holding.

Person role

- ☒ The applicant
☐ The agent

Title	<input type="text" value="Mr & Mrs"/>
First name	<input type="text"/>
Surname	<input type="text" value="Martin"/>
Declaration date (DD/MM/YYYY)	<input type="text" value="13/01/2020"/>

☒ Declaration made

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them. ☒

Date (cannot be pre-application)	<input type="text" value="13/01/2020"/>
----------------------------------	---

Design and Access Statement**Design**

The existing porch is in poor condition, is structurally unsound, and is missing its door. It is also too small to be of any practical use. The proposed porch has been designed to address these issues, and to complement both the original house, and the recently added rear extension. The roof will be constructed from the same materials as those of the house roof and will be hipped to give a similar appearance from the street as the existing porch. The pitch of the roof will be 'corrected' (slightly reduced) to match the roof of the house. The porch walls will be timber framed and clad in wood grained traditional red cement board to match the rear extension. This form of construction will allow the porch to meet (Part L) Building Regulations requirements for an internal habitable space, thereby improving energy efficiency of the whole house by avoiding heat loss when accessing the porch from within. The existing inner front door will be retained.

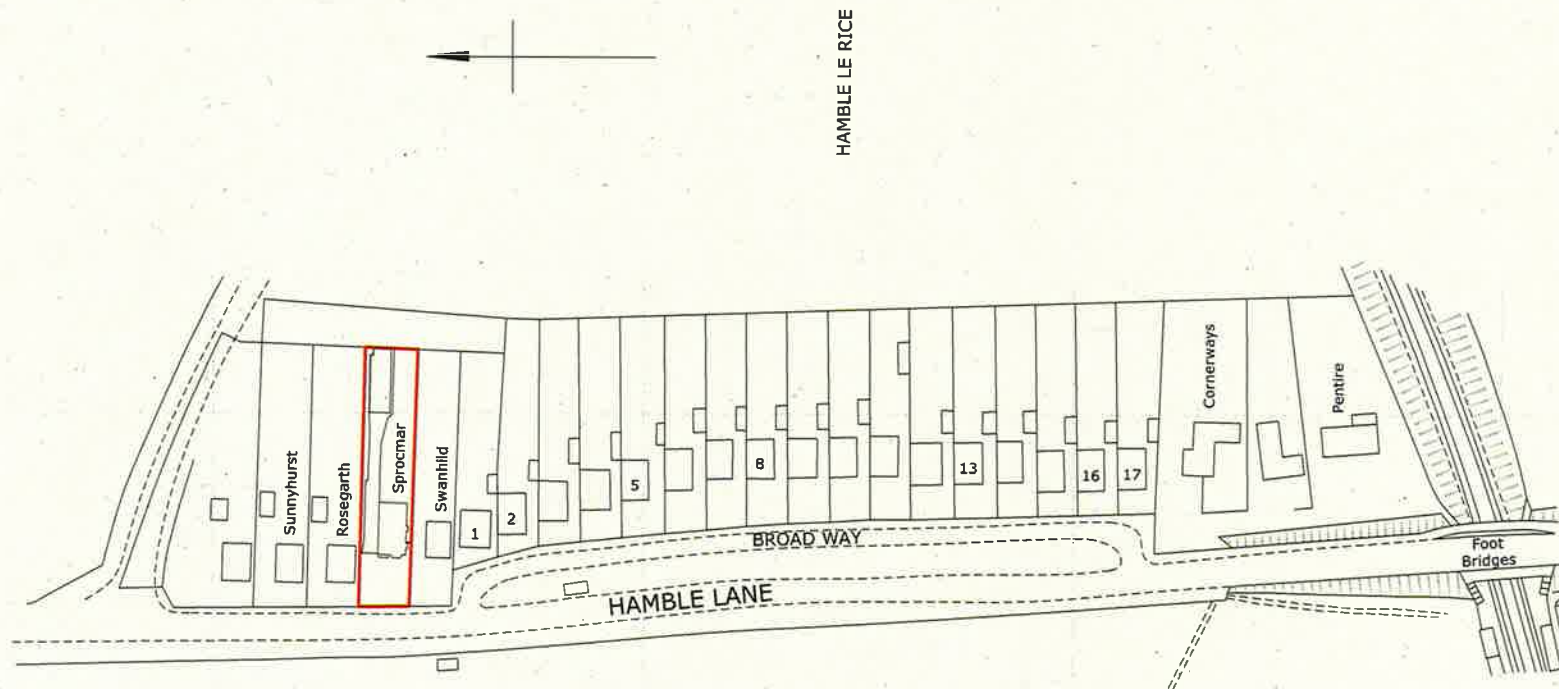
The width of the porch will increase, but only slightly (approx. 125mm) in order to align with the North elevation of the rear extension, and to maintain symmetry about the bedroom window above. The bottom of that window will be raised 6 courses (approx. 450mm) of bricks recovered from previous work to the house to allow the porch roof to rise to a ridge. The soldier course and tiled cill will be reinstated to maintain its original appearance. Raising the cill this amount will also make the small box room inside more useable and preserve correct looking proportions of the window.

The depth (projection from the front of the house) of the porch will increase from approx. 700mm to 2m. There will be (frosted glass) windows on the front (West elevation) of the porch to give natural light, but none in the sides to provide adequate hanging space, and room for footwear etc. to be stored. Presently there is no such capacity in the existing porch, leaving the limited space at the bottom of the stairs in the house cluttered with such items, potentially creating an obstruction in the event of emergency egress.

Access

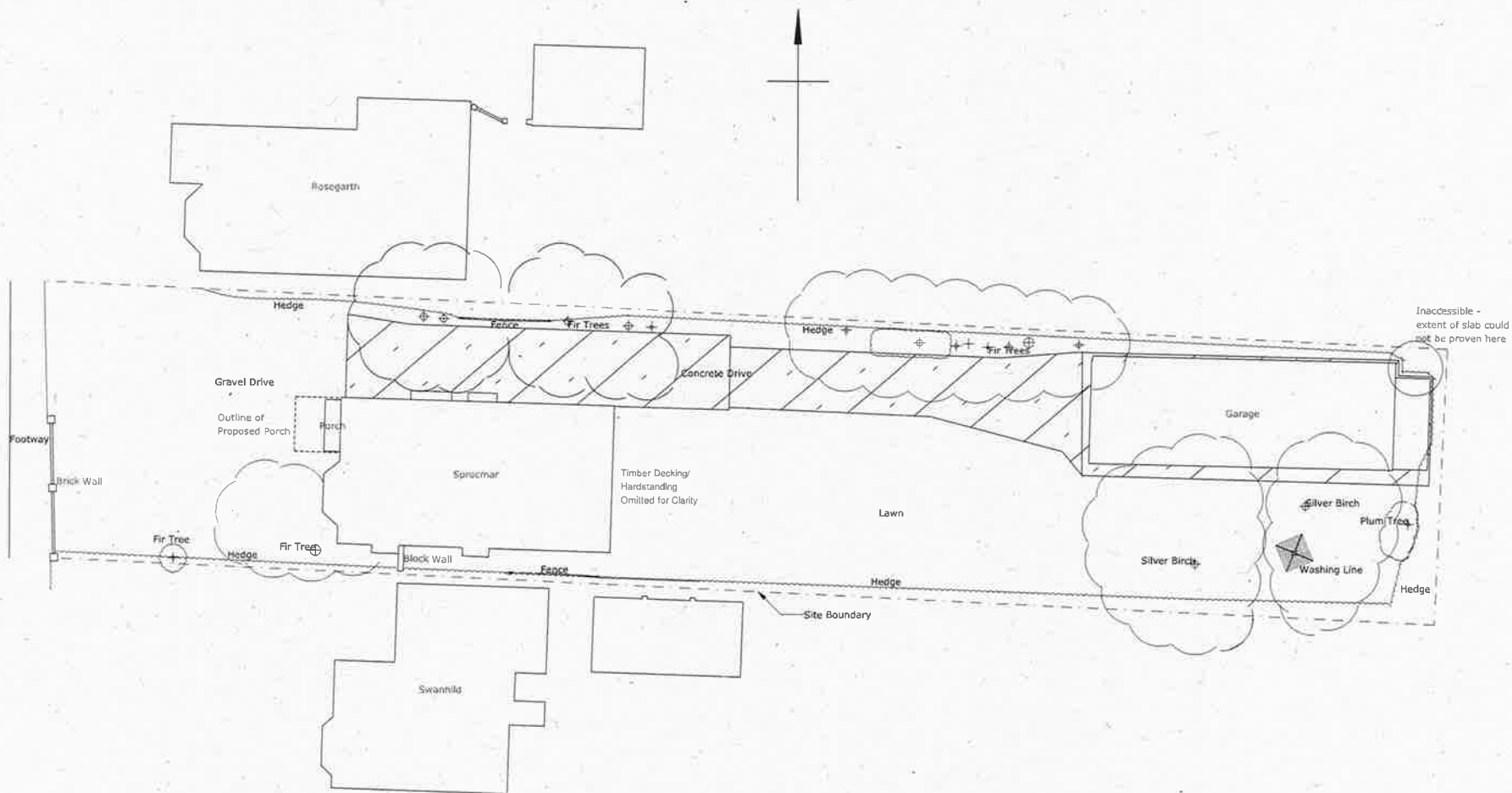
There are no access issues that arise from the proposed work.

HOUND PARISH



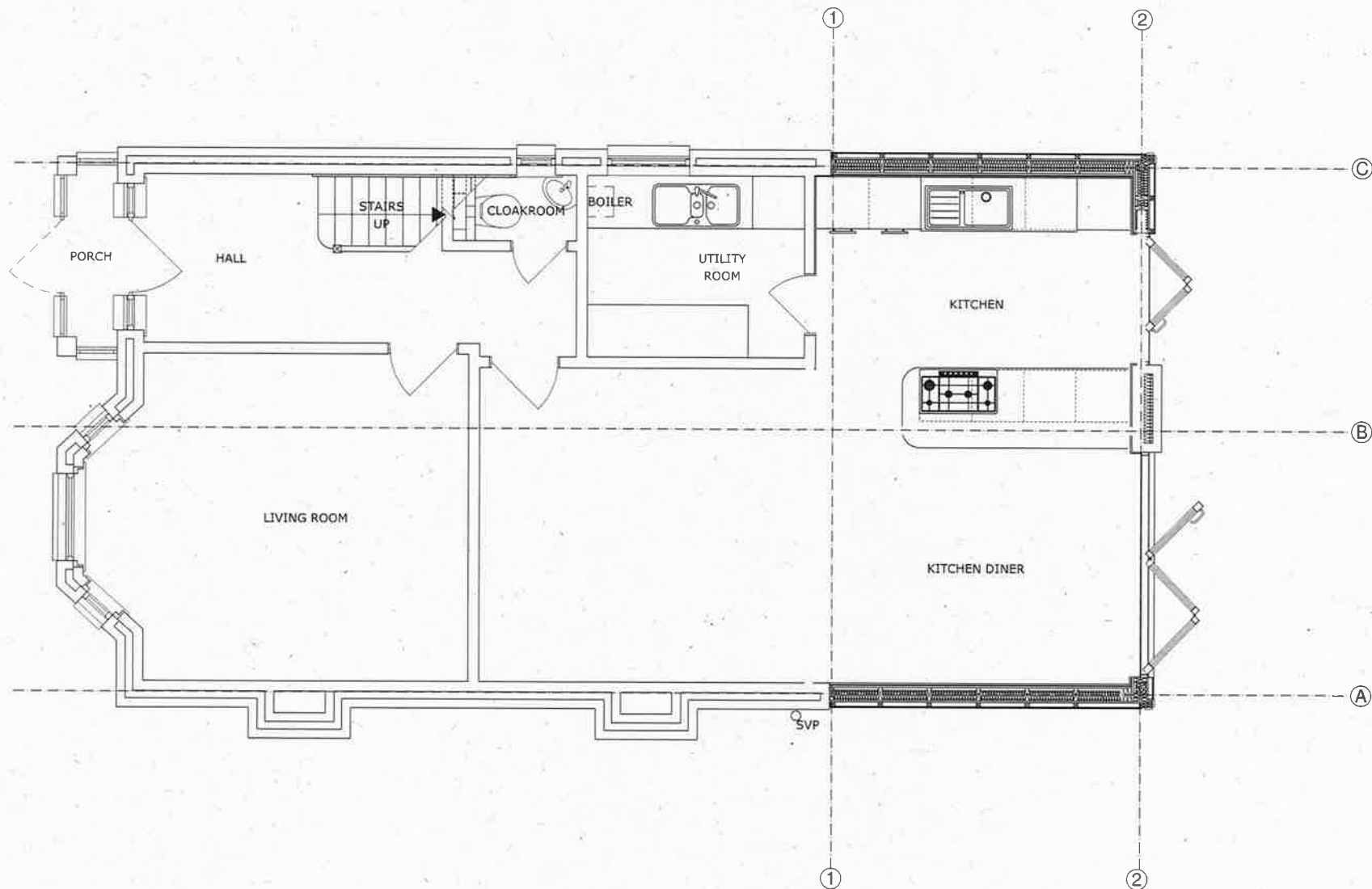
Site Location Plan

Revision		
Serial	Comments	Date
P1	Planning	10/01/2020
Engineering Innovations Ltd Sprocmar, Hamble Lane Hamble Le Rice Hampshire SO31 4HT Tel. 023 8045 3491		
Client: Mr & Mrs M J Martin		
Project Title: Porch Renovation Sprocmar, Hamble Lane Hamble Le Rice SO31 4HT		
Drawing Title: Site Location Plan		
Drawing No: 2020-SLP1		
Scale: 1:1250 @ A3	Drawing Status: P1	
Date: 10/01/2020	Drawn: MJM	



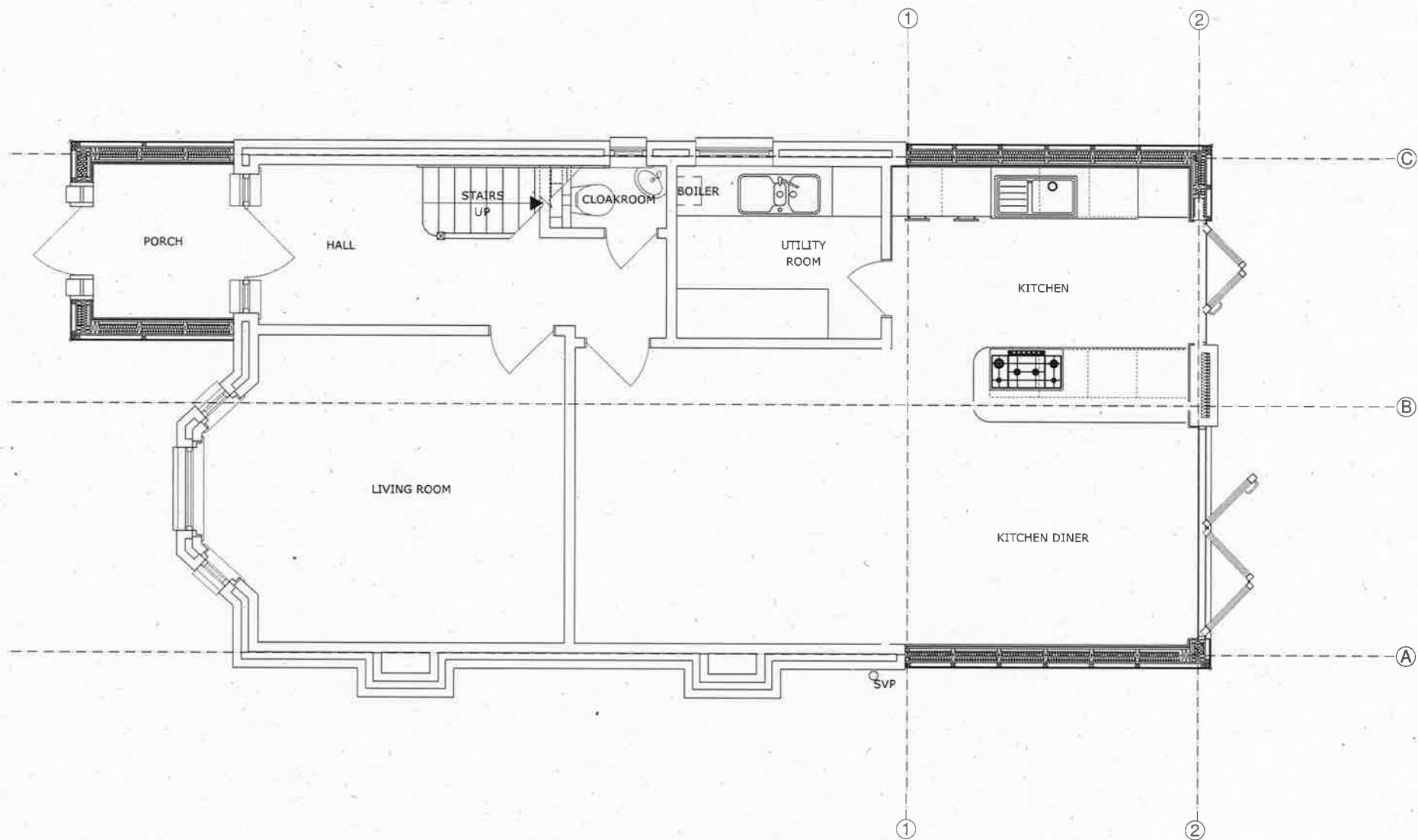
Site Layout Plan

Revision		
Rev	Comment	Date
#1	Planning	10/01/2020
Engineering Innovations Ltd Sprucmar, Hamble Lane Hamble Le Rice Hampshire SO31 4HT Tel. 023 8045 3491		
Client		
Mr & Mrs M J Martin		
Project Title		
Porch Renovation Sprucmar, Hamble Lane Hamble Le Rice SO31 4HT		
Drawing Title		
Site Layout Plan		
Drawing No		
2020-SLP2		
Scale	Drawing Status	
1:200 @ A3	P1	
Date	Drawn	
10/01/2020	MJM	



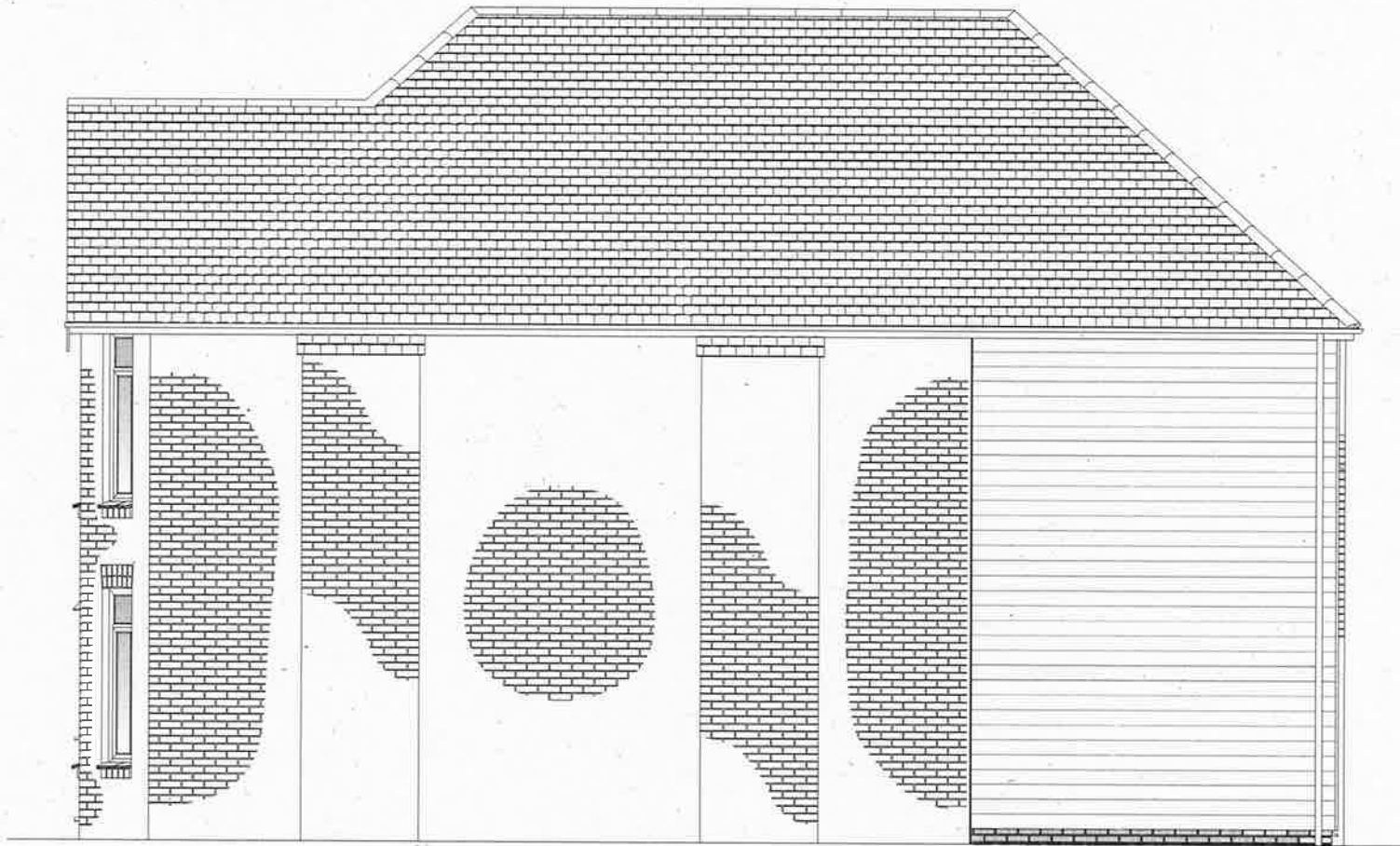
Ground Floor Plan
(Existing)

Revision		
Issued	Comments	Date
P1	Planning	22/01/2020
Engineering Innovations Ltd Sprockmar, Hamble Lane Hamble Le Rice Hampshire SO31 4HT Tel. 023 8045 3491		
Client Mr & Mrs M J Martin		
Project Title Porch Renovation Sprockmar, Hamble Lane Hamble Le Rice SO31 4HT		
Drawing Title Proposed West Elevation		
Drawing No 2020-PLEX1		
Scale	Drawing Status	
1:50 @ A3	P1	
Date	Drawn	
22/01/2020	MJM	



Ground Floor Plan
(Proposed)

Revision		
Rev	Comments	Date
P1	Planning	2047/01/20
Engineering Innovations Ltd Sprockmar, Hamble Lane Hamble Le Rice Hampshire SO31 4HT Tel: 023 8045 3491		
Client: Mr & Mrs M J Martin		
Project Title: Porch Renovation Sprockmar, Hamble Lane Hamble Le Rice SO31 4HT		
Drawing Title: Proposed West Elevation		
Drawing No: 2020-PLPR1		
Scale:	Drawing Status:	
1:50 @ A3	P1	
Date:	Drawn:	
22/01/2020	MJM	



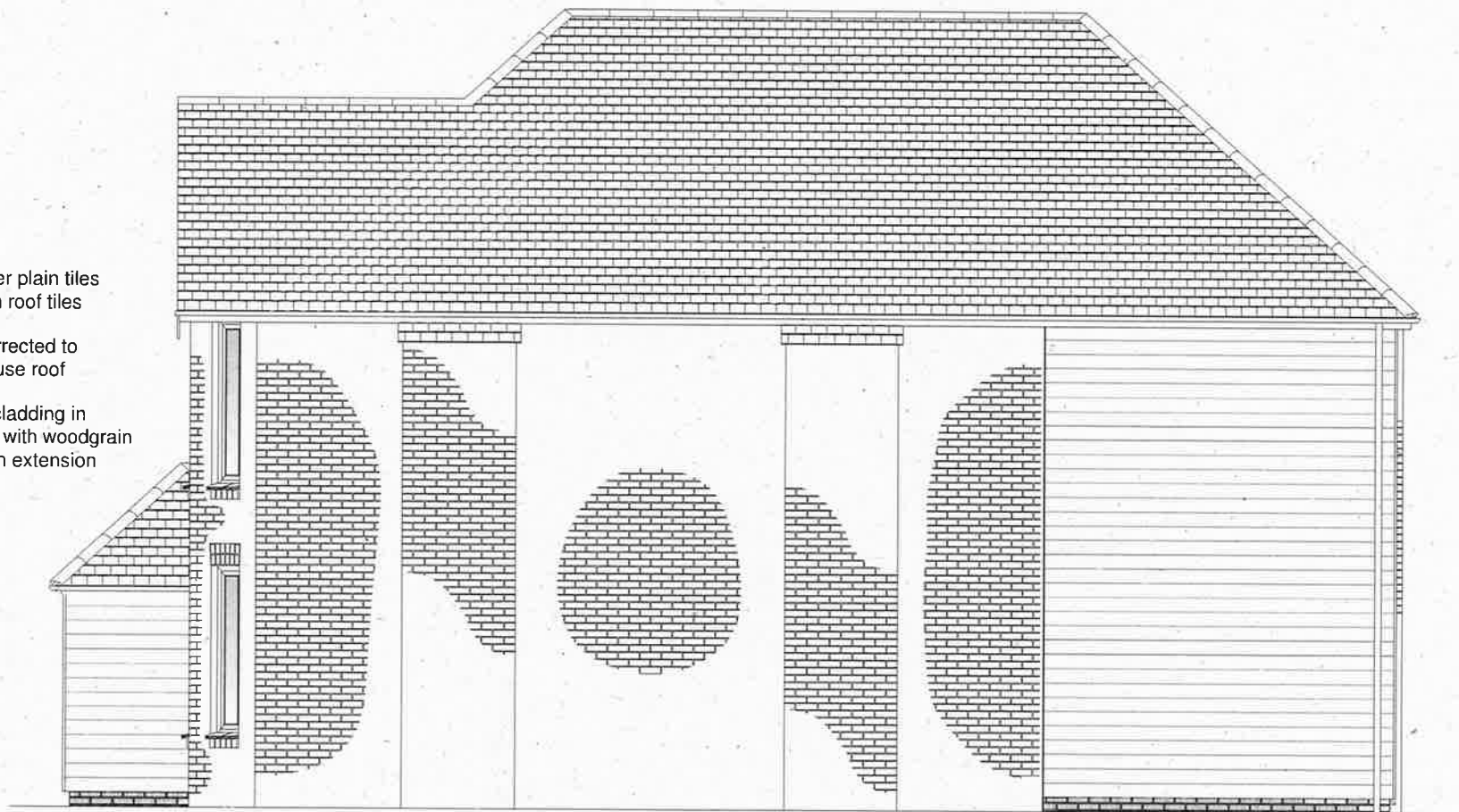
South Elevation
(Existing)

Revision		
Drawn	Comments	Date
P1	Planning	10/01/2020
Engineering Innovations Ltd Sprockmar, Hamble Lane Hamble Le Rice Hampshire SO31 4HT Tel: 023 8045 3491		
Client:		
Mr & Mrs M J Martin		
Project Title:		
Porch Renovation Sprockmar, Hamble Lane Hamble Le Rice SO31 4HT		
Drawing Title:		
Existing South Elevation		
Drawing No:		
2020-ELEX3		
Scale:	Drawing Status:	
1:50 @ A3	P1	
Date:	Drawn:	
10/01/2020	MJM	

Double camber plain tiles
to match main roof tiles

Roof pitch corrected to
match the house roof

HardiePlank cladding in
traditional red with woodgrain
finish to match extension



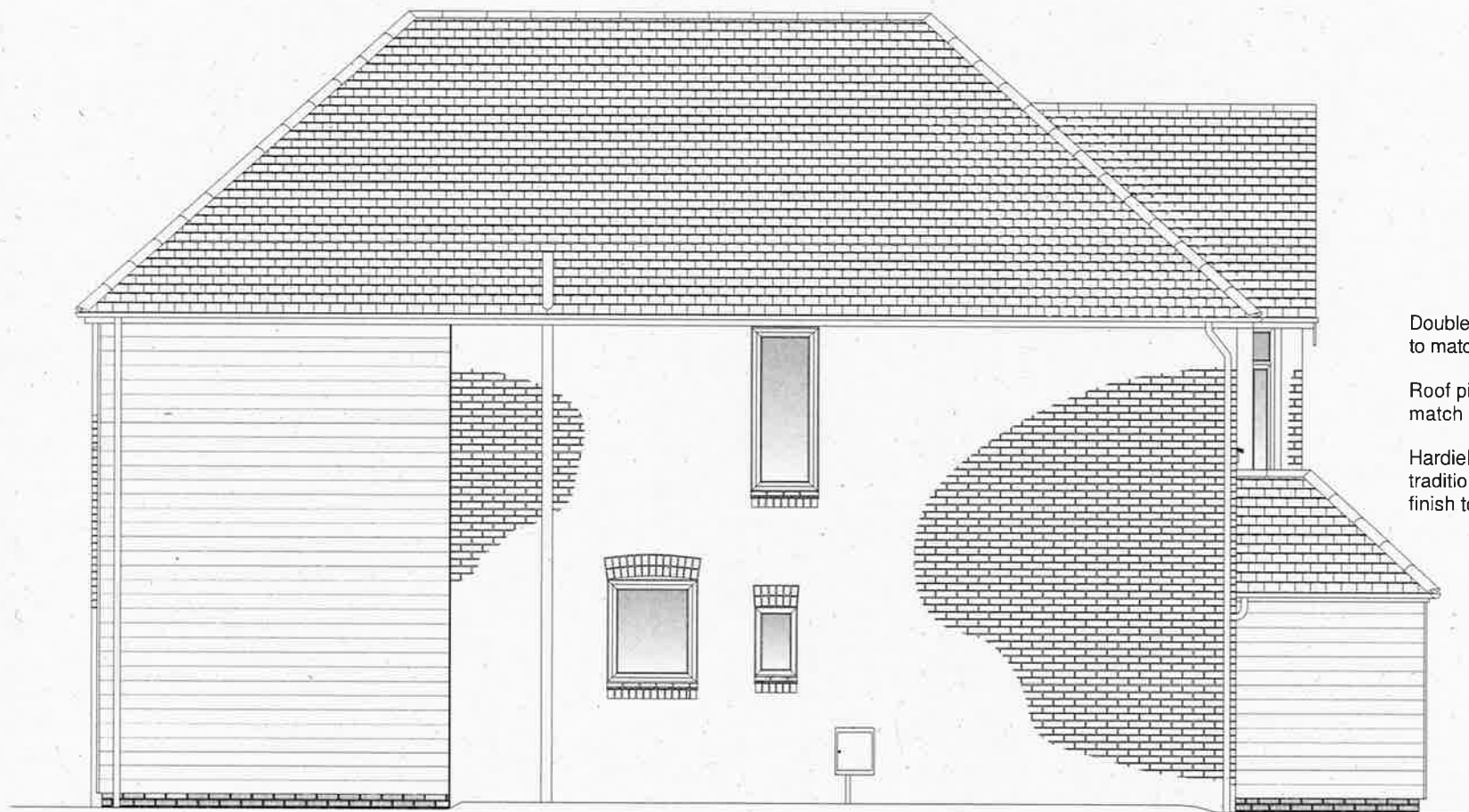
South Elevation
(Proposed)

Revision		
Rev	Comment	Date
01	Planning	10/01/2020
Engineering Innovations Ltd Sprocmar, Hamble Lane Hamble Le Rice Hampshire SO31 4HT Tel: 023 6045 3491		
Client Mr & Mrs M J Martin		
Project Title Porch Renovation Sprocmar, Hamble Lane Hamble Le Rice. SO31 4HT		
Drawing Title Proposed South Elevation		
Drawing No: 2020-ELPR3		
Scale 1:50 @ A3	Drawing Sheet P1	
Date 10/01/2020	Drawn MJM	



North Elevation
(Existing)

Revision		
Rev	Comments	Date
P1	Planning	19/01/2020
Engineering Innovations Ltd Sprockmar, Hamble Lane Hamble Le Rice Hampshire SO31 4HT Tel. 023 8045 3491		
Client:		
Mr & Mrs M J Martin		
Project Title:		
Porch Renovation Sprockmar, Hamble Lane Hamble Le Rice SO31 4HT		
Drawing Title:		
Existing North Elevation		
Drawing No:		
2020-ELEX2		
Scale:	Drawing Status:	
1:50 @ A3	P1	
Date:	Drawn:	
10/01/2020	MJM	



Double camber plain tiles
to match main roof tiles

Roof pitch corrected to
match the house roof

HardiePlank cladding in
traditional red with woodgrain
finish to match extension

North Elevation
(Proposed)

Revision		
Revised	Comments	Date
P1	Planning	10/01/2020
Engineering Innovations Ltd		
Sprockmar, Hamble Lane		
Hamble Le Rice		
Hampshire SO31 4HT Tel. 023 8045 3491		
Client		
Mr & Mrs M J Martin		
Project Title		
Porch Renovation		
Sprockmar, Hamble Lane		
Hamble Le Rice SO31 4HT		
Drawing Title		
Proposed North Elevation		
Drawing No		
2020-ELPR2		
Scale	Drawing Status	
1:50 @ A3	P1	
Date	Drawn	
10/01/2020	MJM	

Note
The existing porch is in
poor condition, structurally
unsound with slipped
tiles and front door missing



West Elevation
(Existing)

Revision		
Rev	Comments	Date
#1	Planning	10/01/2020
Engineering Innovations Ltd Sprockmar, Hamble Lane Hamble Le Rice Hampshire SO31 4HT Tel. 023 8045 3491		
Client		
Mr & Mrs M J Martin		
Project Title		
Porch Renovation Sprockmar, Hamble Lane Hamble Le Rice SO31 4HT		
Drawing Title		
Existing West Elevation		
Drawing No.		
2020-ELEX1		
Scale	Drawing Status	
1:50 @ A3	P1	
Date	Drawn	
10/01/2020	MJM	

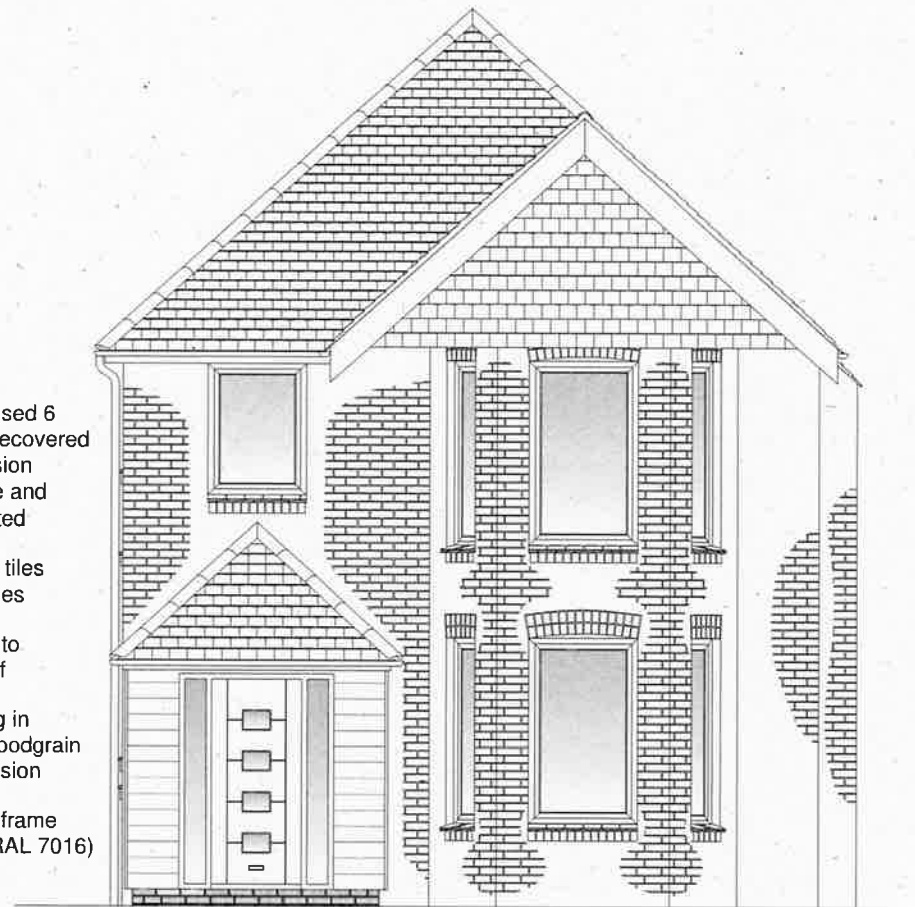
Bottom of window raised 6 courses with bricks recovered from previous extension work. Soldier course and tiled cill to be reinstated

Double camber plain tiles to match main roof tiles

Roof pitch corrected to match the house roof

HardiePlank cladding in traditional red with woodgrain finish to match extension

Composite door and frame to match windows (RAL 7016)



West Elevation
(Proposed)

Revision	
Issue / Comments	Date
P1 Planning	18/01/2020
Engineering Innovations Ltd Spruce, Hamble Lane Hamble Le Rice Hampshire SO31 4HT Tel: 023 8045 3491	
Client: Mr & Mrs M J Martin	
Project Title: Porch Renovation Spruce, Hamble Lane Hamble Le Rice SO31 4HT	
Drawing Title: Proposed West Elevation	
Drawing No: 2020-ELPR1	
Scale: 1:50 @ A3	Drawing Status: P1
Date: 10/01/2020	Drawn: MJM

Development Management

Eastleigh House, Upper Market Street, Eastleigh, SO50 9YN

Tel: 023 8068 8264 www.eastleigh.gov.uk

Office hours: Mon-Thurs 8.30am - 5pm, Friday 8.30am - 4.30pm



Application for tree works: works to trees subject to a tree preservation order (TPO) and/or notification of proposed works to trees in a conservation area.

Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Trees Location

Number	56
Suffix	
Property name	Tanglewood
Address line 1	Satchell Lane
Address line 2	
Address line 3	
Town/city	Hamble-Le-Rice
Postcode	SO31 4HL

If the location is unclear or there is not a full postal address, describe as clearly as possible where it is (for example, 'Land to rear of 12 to 18 High Street' or 'Woodland adjoining Elm Road')

Easting (x)	448297
Northing (y)	107333

Description

2. Applicant Details

Title	
First name	Carron
Surname	Lane
Company name	
Address line 1	Tanglewood
Address line 2	56 Satchell Lane
Address line 3	

2. Applicant Details

Town/city	<input type="text" value="Hamble-Le-Rice"/>
Country	<input type="text"/>
Postcode	<input type="text" value="SO31 4HL"/>
Primary number	<input type="text"/>
Secondary number	<input type="text"/>
Fax number	<input type="text"/>
Email address	<input type="text"/>

Are you an agent acting on behalf of the applicant? ☐ Yes ☒ No

3. Agent Details

No Agent details were submitted for this application

4. What Are You Applying For?

Are you seeking consent for works to tree(s) subject to a Tree Preservation Order? ☒ Yes ☐ No

Are you wishing to carry out works to tree(s) in a conservation area? ☐ Yes ☒ No

5. Identification of Tree(s) and Description of Works

Please identify the tree(s) and provide a full and clear specification of the works you want to carry out.

You might find it useful to contact an arborist (tree surgeon) for help with defining appropriate work.

Where trees are protected by a Tree Preservation Order, please number them as shown in the First Schedule to the Tree Preservation Order where this is available. You should use the same numbering on your sketch plan (see help for sketch plan requirements).

Please provide the following information:

- Tree species
- The number used on the sketch plan); and
- A description of the proposed works.

Where trees are protected by a Tree Preservation Order you must also provide:

- Reasons for the work; and where trees are being felled
- Proposals for planting replacement trees (including quantity, species, position and size) or reasons for not wanting to replant.

e.g. Oak (T3) - fell because of excessive shading and low amenity value. Replant with one standard ash in same position.

Selective pruning of 3 mature oak trees covered by TPO 22256 (see plan)

Tree T1: remove two branches in lower crown to improve light to lawn

Tree T2: remove part of limb in poor condition reduce by no more than 3 metres and to 'knuckle' to improve tree health

Tree T3: lower crown only - tip reduction up to 1 metre and to appropriate growth points and crown lift - to improve shape of tree and increase light to garden.

6. Trees - Additional Information

For all trees

A sketch plan clearly showing the position of trees listed in the question 'Identification of Tree(s) and Description of Works' MUST be provided when applying for works to trees covered by a Tree Preservation Order. A sketch plan is also advised when notifying the LPA of works to trees in a conservation area (see guidance notes).

It would also be helpful if you provided details of any advice given on site by an LPA officer.

For works to trees covered by a TPO

Please note: If none of the proposed work involves trees covered by a TPO, please answer 'No' to the two questions below

Please indicate whether the reasons for carrying out the proposed works include any of the following. If so, your application MUST be accompanied by the necessary evidence to support your proposals (see guidance notes for further details).

1. Condition of the tree(s) - e.g. it is diseased or you have fears that it might break or fall ☐ Yes ☒ No

If Yes, you are required to provide written arboricultural advice or other diagnostic information from an appropriate expert.

6. Trees - Additional Information

2. Alleged damage to property - e.g. subsidence or damage to drains or drives.

☐ Yes ☒ No

If Yes, you are required to provide for:

Subsidence: A report by an engineer or surveyor (to include a description of damage, vegetation, monitoring data, soil, roots and repair proposals) and a report from an arboriculturist to support the tree work proposals.

Other structural damage (e.g. drains walls and hard surfaces): Written technical evidence from an appropriate expert, including description of damage and possible solutions.

Documents and plans (for any tree)

Are you providing additional information in support of your application (e.g. an additional schedule of work for question 'Identification of Tree(s) and Description of Works')?

☒ Yes ☐ No

If Yes, please provide the reference numbers of plans, documents, professional reports, photographs etc in support of your application

Letter and recommendations from a professional arborist with supporting photos indicating cut points on the branches as well as a plan of the TPO oak trees, identifying the three trees for proposed pruning.
File name: TPO application document Jan 20

7. Tree Ownership

Is the applicant the owner of the tree(s)?

☒ Yes ☐ No

8. Tree Preservation Order Details

If you know which TPO protects the tree(s), enter its title or number

TPO number 22256 is quoted by the arborist
I also have previous notes suggesting the TPOs are numbered: 222G1 & 222G2

9. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- a) a member of staff
- b) an elected member
- c) related to a member of staff
- d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

☐ Yes ☒ No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

10. Trees - Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them. ☒

Date (cannot be pre-application)

24/01/2020

87 Bryher Island

Port Solent PO6 4UF

Mr and Mrs M Lane

Tanglewood

56 Satchell Lane

Hamble SO31 4HL

2nd December 2019

Dear Mr and Mrs Lane

It was good to see you both last Saturday afternoon and to discuss the planting in your garden including possible works to the mature, protected Oak trees subject to the extant Tree Preservation Order, and the conifer not subject to any statutory control.

We discussed works to the conifer trees on your eastern boundary including reduction of the tree nearest the rear elevation of the house which is growing into the Oak tree, by up to 1.5m and the complete removal of the tree in the south-eastern corner of the garden. These works will allow more light into your garden which will improve the condition of your lawn. It may also allow opportunities for new shrub planting which would enhance and add variety and interest to the garden in the form of plant shape and colour. I would be happy to advise if required. I note also the row of young conifer on your southern boundary and in the adjoining property which will require regular management to ensure they form a hedge and do not become large, unmanageable trees.

With regard to the protected Oak trees a general description of works would read

Selective pruning to three mature Oak trees subject to TPO No. 22256

Proposed works to allow more light penetration into the rear garden and including the reduction of one moribund limb.

The works which might be undertaken include:

Tree T1 – Oak north-eastern boundary, western aspect – remove two branches in the lower crown.
See Photo

Tree T2 – Oak south-eastern boundary – limb in poor condition – reduce by up to and no more than 3m and to 'knuckle'

See photo

Tree T3 – north westernmost tree – northern aspect, lower crown only

Tip reduction up to 1m and to appropriate growth points and crown lift

See photo

In my opinion the works as described recognise the importance of the trees in the local landscape and will not harm their health or amenity value.

If you have any further queries, please contact me.

Yours sincerely

Adele Le Maistre.



Sent from my iPad

Tree T1

Binate branches as
shown.

(Easton)
boundary

11/27/2019

Mail - Poulton, Adele - Outlook



Sent from my iPad

$$\overline{1000} \overline{12}$$

Remove marbled limb
(eastern
boundary)

11/27/2019

Mail - Poulton, Adele - Outlook

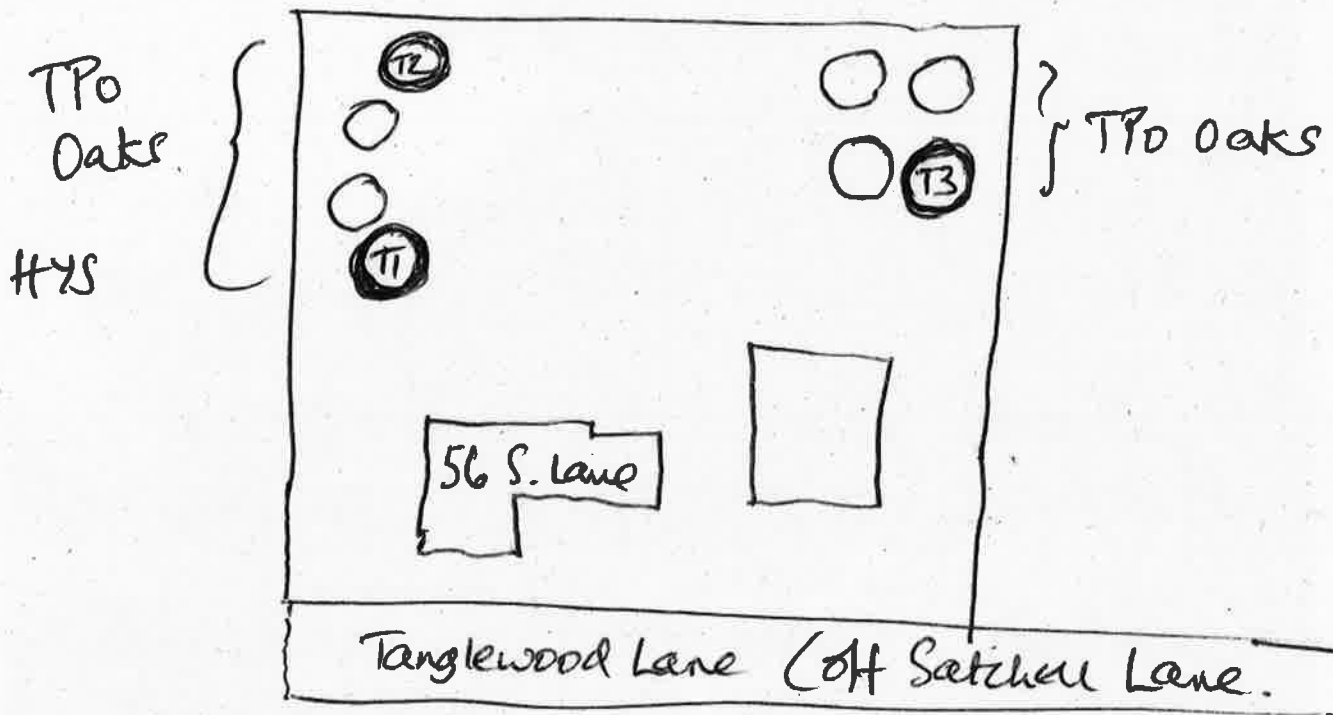


Sent from my iPad

T₃

Oak NW - crown light & tip reduction

TREE PLAN OAK TPO'S 56, SATCHEL LANE.



○ = work proposed
○ = No work proposed.

CJL
24.1.20





Development Management

Eastleigh House, Upper Market Street, Eastleigh, SO50 9YN

Tel: 023 8068 8264 www.eastleigh.gov.uk

Office hours: Mon-Thurs 8.30am - 5pm, Friday 8.30am - 4.30pm

EASTLEIGH
BOROUGH COUNCIL

Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	78
Suffix	
Property name	
Address line 1	Satchell Lane
Address line 2	
Address line 3	
Town/city	Hamble-Le-Rice
Postcode	SO31 4HL

Description of site location must be completed if postcode is not known:

Easting (x)	448392
Northing (y)	107550

Description

2. Applicant Details

Title	Mr
First name	Robin
Surname	Fielder
Company name	
Address line 1	78, Satchell Lane
Address line 2	
Address line 3	
Town/city	Hamble-Le-Rice
Country	

2. Applicant Details

Postcode	SO31 4HL
Primary number	
Secondary number	
Fax number	
Email address	

Are you an agent acting on behalf of the applicant? ☒ Yes ☐ No

3. Agent Details

Title	Mr
First name	Philip
Surname	Blencowe
Company name	The Genesis Design Studio Ltd
Address line 1	Mead Mill
Address line 2	77 Mill Lane
Address line 3	
Town/city	Romsey
Country	United Kingdom
Postcode	SO51 8EQ
Primary number	
Secondary number	
Fax number	
Email	

4. Description of Proposed Works

Please describe the proposed works:

Replacement of second floor dormer roofs with flat roof to provide headroom for proposed layout improvements.

Has the work already been started without consent? ☐ Yes ☒ No

5. Materials

Does the proposed development require any materials to be used? ☒ Yes ☐ No

Please provide a description of existing and proposed materials and finishes to be used (including type, colour and name for each material):

Walls	
Description of existing materials and finishes (optional):	Painted timber boarding. Render.

5. Materials

Walls	
Description of proposed materials and finishes:	Painted timber boarding.

Roof	
Description of existing materials and finishes (optional):	Concrete roof tiles.
Description of proposed materials and finishes:	Flat roof membrane.

Windows	
Description of existing materials and finishes (optional):	Painted timber.
Description of proposed materials and finishes:	Aluminium.

Are you supplying additional information on submitted plans, drawings or a design and access statement? ☒ Yes ☐ No

If Yes, please state references for the plans, drawings and/or design and access statement

Elevation drawing 7980/P04.

5. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development? ☐ Yes ☒ No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? ☐ Yes ☒ No

7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? ☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway? ☐ Yes ☒ No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way? ☐ Yes ☒ No

3. Parking

Will the proposed works affect existing car parking arrangements? ☐ Yes ☒ No

3. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? ☐ Yes ☒ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- ☒ The agent
- ☐ The applicant
- ☐ Other person

10. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? ☐ Yes ☒ No

11. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- a) a member of staff
- b) an elected member
- c) related to a member of staff
- d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

☐ Yes ☒ No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

12. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the and is, or is part of, an agricultural holding.

Person role

- ☐ The applicant
☒ The agent

Title	<input type="text" value="Mr"/>
First name	<input type="text" value="Philip"/>
Surname	<input type="text" value="Blencowe"/>
Declaration date (DD/MM/YYYY)	<input type="text" value="27/01/2020"/>

☒ Declaration made

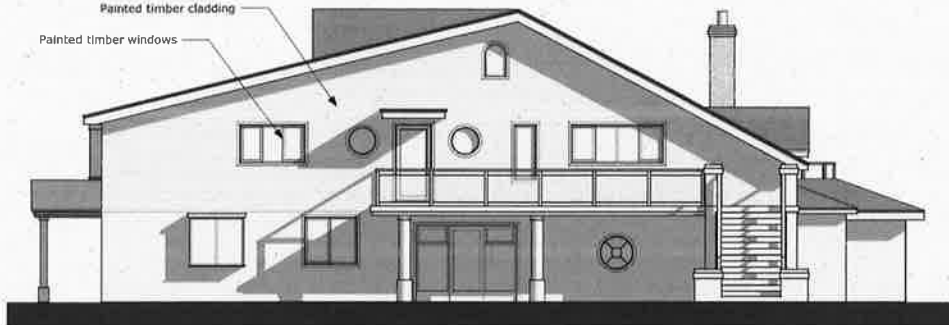
13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them. ☒

Date (cannot be pre-application)

0 5 10 15

Painted timber cladding
Painted timber windows



EXISTING NORTH ELEVATION

Concrete roof tiles



EXISTING EAST ELEVATION



EXISTING SOUTH ELEVATION



EXISTING WEST ELEVATION



New flat roof
Painted timber cladding



PROPOSED NORTH ELEVATION

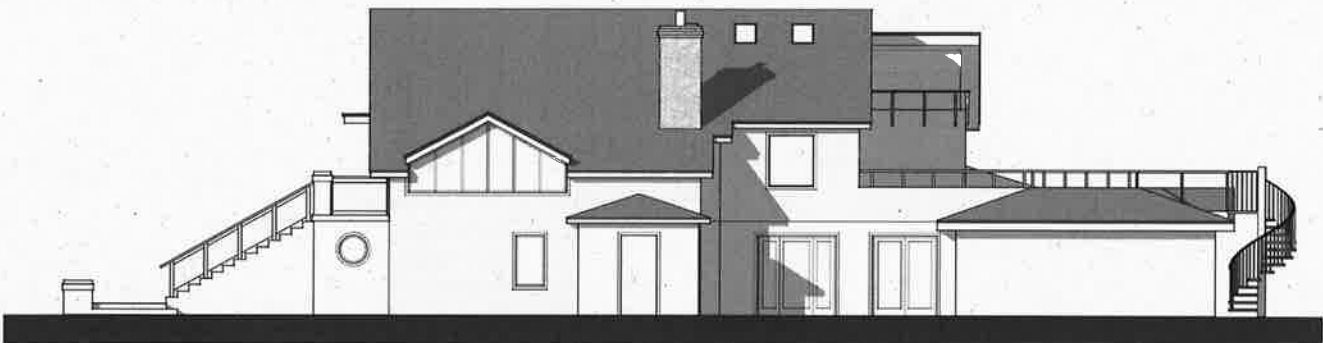
New flat roof
Marine grade aluminium windows
Painted timber cladding



PROPOSED EAST ELEVATION



PROPOSED SOUTH ELEVATION



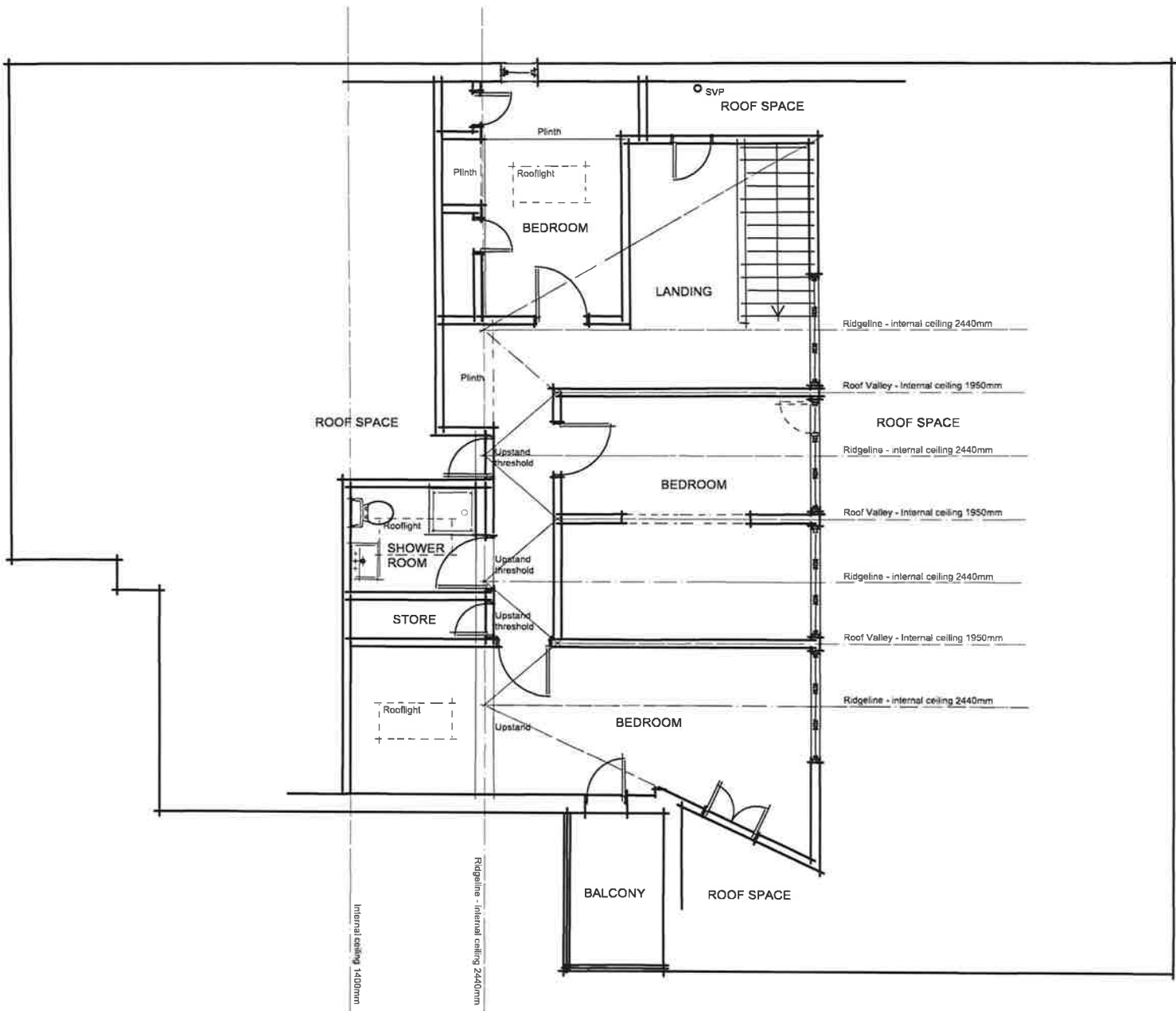
PROPOSED WEST ELEVATION



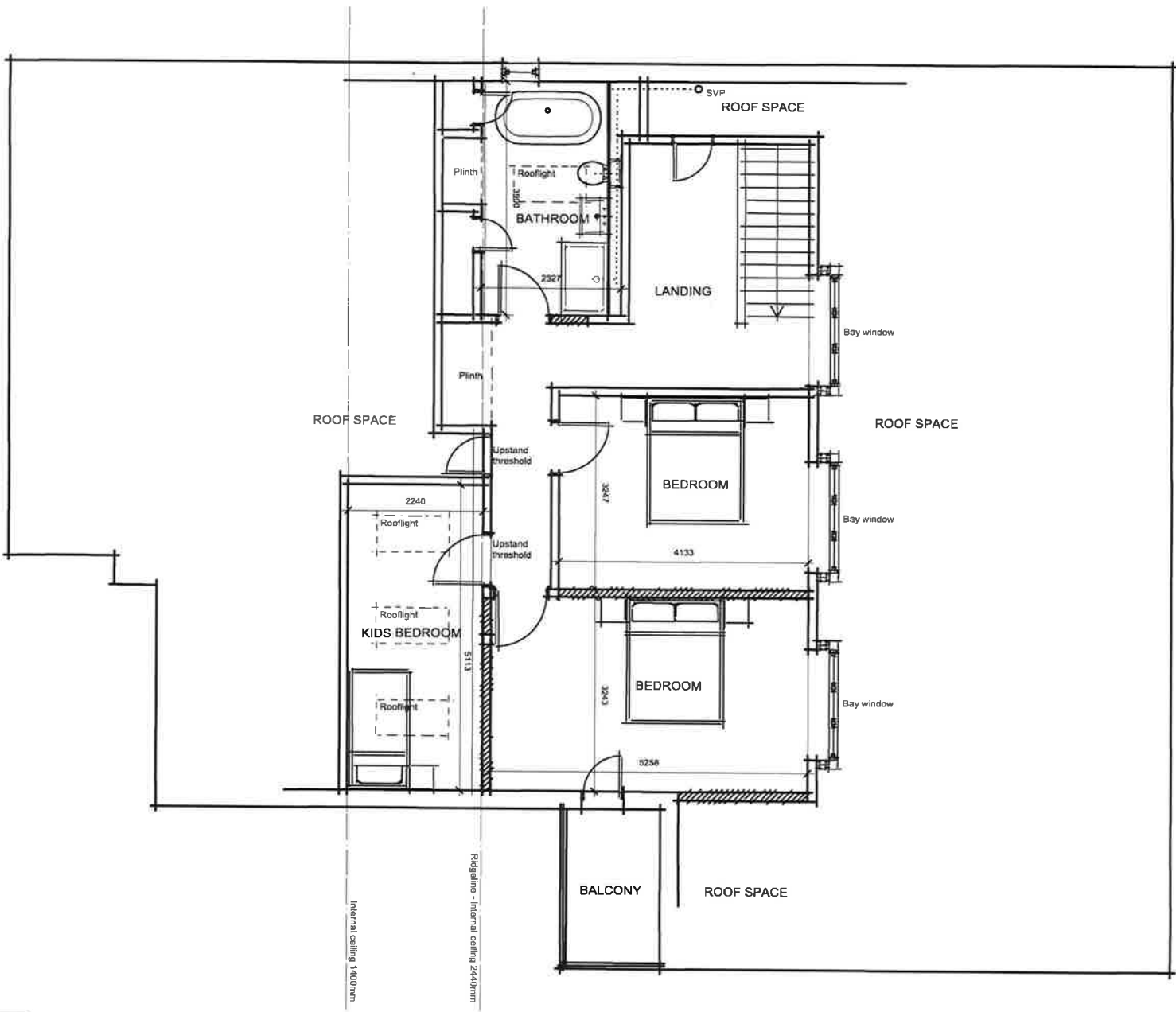


EXISTING SECOND FLOOR PLAN

0 5 10 15 M



PROPOSED SECOND FLOOR PLAN



7980/P02

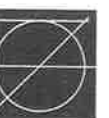
EXISTING & PROPOSED SF PLAN

SCALE - 1:100 @ A3

JANUARY 2020

REED HOUSE, SATCHELL LANE, HAMBLE-LE-RICE

PHB PHB
| Draw | Check |



THE
Genesis Design
STUDIO

CHARTERED ARCHITECTS

MEAD MILL MILLANE ROMSEY
HAMPSHIRE SOST REQ

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F: (01794) 519686
E: info@thegenesisdesignstudio.com

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PHASE ONE BIODIVERSITY SURVEY AT REED HOUSE, HAMBLE-le-RICE

Initial Survey carried out on - 12 December 2019 Map Ref of Property - SU 483 075

SITE DESCRIPTION

The site consists of a large detached three-storey house set in a large garden on the edge of the Satchell Marshes on the western bank of the river Hamble. The total area of the site, including house, outbuildings and garden is c. 4,000 sq metres (*this is an approximate figure. The total area of the site is difficult to assess as the eastern boundary is not shown on our maps*). The property adjoins the legally protected area of the Hamble River but lies outside the Hamble-le-Rice Conservation area.

The upper storeys of the house are based on a timber framework, covered externally with well-fitting timber cladding. The roof is clad with large format interlocking concrete tiles, lined beneath with bitumastic roofing felt faced with fibre board. The soffits and fascia panels are made of plastic and are well-fitting. There is no loft space as such but a series of smaller voids within the roof, all of which are accessible from internal hatches and lined beneath the tiles with bitumastic roofing felt and fibre-board. The floor of the roof voids is covered with a thick layer of insulation.

There is an extensive garden surrounding the house on all sides with a concrete patio adjoining each side of the house. The garden comprises a well-tended area of grass lawn which extends down to Satchell Marsh on the western edge of the Hamble River. The garden contains a number of large trees, most of which are non-native and a selection of ornamental shrubs. There are several large Pedunculate Oak (*Quercus robur*) trees along the edge of the driveway.

There is a brick boat-house and a tennis court also in the garden. In addition there is a small gate house at the gated entrance to the property. It is understood that none of these buildings will be affected by the proposed development.

It is understood that the owner of the property, Mr Robin Fielder, intends to apply for planning permission to remove the existing roof and replace it with a different structure providing better configuration of the internal living space. No increase in the basal area of the property is intended.

New Forest Ecological Consultants were asked by the architects, Genesis Design Studio Ltd of Romsey to carry out a phase one biodiversity survey of the house and garden to identify the presence or absence of any of the legally protected wildlife species listed below and where appropriate to gain some idea of the numbers and species involved. *See appendices 2 – 6 for photographs of the site.*

LEGISLATION

Several species of wildlife are protected under UK legislation, notably the Wildlife and Countryside Act 1981 (and subsequent amendments) and the Countryside and Rights of Way Act 2000. The habitats of some of the species are also protected under the Conservation (Natural Habitats etc) Regulations 2010

The protected species are listed below. They fall into two main groups.

The first group comprises the European Protected Species which in general are protected against being disturbed, injured or killed. In addition, any place used as a refuge or resting place is legally protected and it is an offence to disturb them while using that refuge. It is also an offence to damage, destroy or prevent access to these places.

The second group consists of species which are protected against being intentionally or recklessly killed or injured or sold but their habitat is not normally protected. The four common species of reptiles fall into this category.

Badgers are protected against being killed or injured under the Protection of Badgers Act 1992. Additionally their setts are protected against disturbance or damage under the same legislation.

Birds and their nests are protected during the nesting season.

Licences may be obtained from Natural England to carry out any of these otherwise illegal acts.

Local Planning Authorities may grant planning permission subject to any issues pertaining to legally protected species being resolved.

European Protected Species

Bats (all species) (*Chiroptera*)

Otter (*Lutra lutra*)

Dormouse (*Muscardinus avellanarius*)

Barn Owl (*Tyto alba*)

Smooth Snake (*Coronella austriaca*)

Slow Worm (*Anguis fragilis*)

Sand Lizard (*Lacerta agilis*)

Natterjack Toad (*Epidalea calamita*)

Sea Trout/Salmon (*Salmo trutta*)

White-clawed Crayfish (*Potamobius pallipes*)

Other Protected Species

Water Vole (*Arvicola amphibius*)

Badger (*Meles meles*)

Polecat (*Mustela putorius*)

Pine Marten (*Martes martes*)

Hedgehog (*Erinaceus europaeus*)

Common Lizard (*Zootoca vivipara*)

Grass Snake (*Natrix natrix*)

Adder (*Vipera berus*)

Great Crested Newt (*Triturus cristatus*)

There are a few other protected species but these have not been recorded from this part of the UK.

Keepers Cottage, Holmsley, Burley, Ringwood, Hampshire BH24 4HY

Tel [REDACTED] Mobile [REDACTED]

E Mail [REDACTED]

METHOD

Bats

On 12 December 2019 an internal and external inspection was made of the house roof. A powerful torch was used to search for signs of the presence of bats. These signs could include droppings on floors or other horizontal surfaces or adhering to walls or windows; traces of grease from bat fur on woodwork or staining from bat urine. Any potential points via which bats might gain access to the house roof from the outside and any accessible crevices and holes were closely checked for signs of the actual presence of bats or signs of past bat usage. It was noted that there was no single accessible roof-space but several small roof voids, each served by a vertical access hatch in the walls of the adjacent rooms. A pair of binoculars was used to examine the external surfaces of the roof tiles and timber-clad walls. The larger trees within the garden were examined using a pair of binoculars for the presence of holes, loose bark, splits or cracks and these were assessed for their potential suitability as bat roosts.

No evening emergence or dawn re-entry surveys for bats were carried out at this time (*see results section for justification*).

Barn Owls

The house roof spaces were searched internally for signs of the presence of Barn Owls, such as droppings, regurgitated pellets or cast feathers.

Other Birds

The house roof was searched internally and externally for the presence of the nests of any other bird species.

Badgers

The garden was surveyed for signs of the presence of badgers such as setts, latrines, pathways, footprints etc. The National Biodiversity Network (N.B.N) Atlas database was searched for records of badgers in the vicinity of Hamble-le-Rice.

Hedgehogs

The garden was searched for signs of the presence of Hedgehogs. These could include droppings on lawns, nests constructed under structures such as sheds, stacks of wood, compost heaps etc.

Dormice

The garden was searched for any evidence of Dormouse nests or other field signs of the species.

Reptiles

The garden was surveyed for any habitat which might support reptiles. This could include long, tussocky grass or heather, brambles, log piles etc.

Amphibians

No specific survey was carried out for amphibians as there was no standing fresh water on or near the site. The Hampshire Amphibian and Reptile database was consulted for any records of Great-crested Newts in the vicinity of the proposed development.

Other Protected Species

A visual survey of the garden was carried out, searching for field signs of any other of the legally protected species listed above or any habitat which might support them.

Legally Protected Areas

The Defra website – www.magic.gov.uk – was consulted to identify any legally protected areas of land within 50 metres of the site of the proposed development.

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Tel [REDACTED] Mobile [REDACTED]
E Mail [REDACTED]

RESULTS

Bats

No signs of bats were found anywhere in the house roof-space. In particular no bat droppings were found. In addition, the upper parts of the various roof-spaces were festooned with cobwebs, indicating that bats had not been flying in there recently. An inspection of the visible external roof area indicated that the interlocking concrete tiles were in good condition and provided no visible access points for bats. The soffits were constructed from plastic and were in good condition with no gaps which could have provided access for bats. The timber-clad upper walls were similarly in excellent condition and showed no gaps which could have provided access points for bats. None of the trees in the garden showed any evidence of potential bat roost locations.

Due to the lack of evidence for the presence of bats, no evening emergence or dawn re-entry surveys were considered to be justified. (*See mitigation method statement for further details*).

Barn Owls

No signs of Barn Owls or their nests were found within the house roof or elsewhere on the site.

Other Birds

No signs of any other bird nests were noted within the planned working area of the proposed development.

Badgers

No badger setts or signs of badgers were noted within the garden and the N.B.N Atlas database indicated that the nearest known record of this species is at c. 2.3 Km distance.

Hedgehogs

No evidence of hedgehogs was found in the garden.

Dormice

No evidence was found of the presence of Dormice or suitable habitat within the garden. The nearest record of this species on the NBN Atlas is at c. 2.9 Km distance.

Reptiles

The lawns within the perimeter of the property were covered with well-tended short grass which provided no suitable habitat for reptiles. The remainder of the site consisted of hard-standing and ornamental shrubs which similarly provided no habitat suitable for reptiles.

Amphibians

No specific survey was carried out for amphibians due to the lack of any suitable fresh-water habitat on or near the site. A search of the Hampshire Amphibian and Reptile Group database indicated that the nearest known record for Great-crested Newts is at c. 10 Km distance.

Other Protected Species

No evidence was found for any of the other legally protected species during this survey.

Legally Protected Areas

The Defra website indicated that the following legally protected areas of land are at c. 35 metres from the site of the proposed development :-

Solent Maritime Special Area of Conservation;

Solent and Dorset Coast Special Protection Area for certain bird species;

Solent and Southampton Water RAMSAR site;

Lee on Solent to Itchen Estuary Site of Special Scientific Interest.

The Mercury Marshes Local Nature Reserve lies at c. 57 metres at its nearest point

Keepers Cottage, Holmsley, Burley, Ringwood, Hampshire BH24 4HY

Tel [REDACTED] Mobile [REDACTED]

E Mail [REDACTED]

CONCLUSIONS

Bats

No evidence of the presence of bats was found within the house or garden. No potential access points for bats were noted into the roof-space or behind the timber-clad walls. The interlocking roof tiles were close fitting and no potential bat access points between them could be seen. Generally the well maintained structure of the property was not conducive to bat roosting.

There were no trees in the garden that appeared to provide potential roosting sites for bats.

It is concluded that the limited area occupied by the proposed development will have a negligible impact on the extent and quality of foraging space available to bats in the vicinity.

Badgers

No signs of Badgers were noted in the garden and no further consideration need be given to this species. It was noted that the high water table within the garden would be likely to be inimical to the occupation of underground tunnels as required by Badgers.

Hedgehogs

No evidence was found of Hedgehogs within the garden.

Dormice

No signs of Dormice or suitable Dormouse habitat were noted in the garden and no further consideration need be given to this species.

Birds

No occupied bird nests were found during the survey but there would be a potential risk of disturbing any birds nesting on or near the proposed development site by work carried out between April and September in any year (*see mitigation method statement*).

Reptiles

No signs of reptiles or potential reptile habitat were found during the survey. However it is important that the vegetation within the proposed working area should be kept short before and during the development work so as to discourage reptiles from taking up residence there (*see mitigation method statement*).

Amphibians

There was no standing aquatic habitat on the site and as the nearest known pond supporting a breeding population of Great-crested Newts is at c.10 Km distance, no further consideration need be given to this species.

Other Legally Protected Species

It is considered that there would be no detectable impact on any other protected species.

Legally Protected Habitats

Despite the proximity of the various legally protected sites, it is concluded that that there will be only minimal impact created by the proposed development. It is understood that the proposed work will be confined to the roof and upper floor rooms of the existing property and the surrounding land will be unaffected provided that the mitigation guidelines listed on the following page are followed. It is presumed that the existing drainage patterns of the land and domestic buildings will be unchanged by the proposed development.

METHOD STATEMENT

- 1) The removal of any roof tiles and soffits will be carried out carefully by hand and a qualified ecologist will be available to give advice on how to deal with the unlikely event that any bats may be found.
- 2) Any new lighting scheme for the site will take into consideration the possible presence of bats in the local area and the scheme will minimise potential impacts to any bats using the trees, hedgerows and buildings by avoiding unnecessary artificial light spill through the use of directional light sources and shielding
- 3) Prior to and during the development process, the vegetation within the proposed working area on the site will be cut regularly to deter any reptiles from taking up residence there.
- 4) If any work is to be carried out during the bird nesting season (Apr – September) then care will be taken to locate any occupied nests and to avoid disturbing them.
- 5) To avoid the risk of pollution to the adjacent protected area, any storage of materials will take place well away from the edges of the Satchell Marshes and no heavy vehicles will be permitted beyond the existing hard-standing on the site. Any stored fuel or chemicals will be held in bunded containers.
- 6) Suitable protection will be provided for the root systems of any trees that lie within the proposed working access area.
- 7) Should any protected species be found during the course of the development then work will be stopped immediately and New Forest Ecological Consultants will be contacted for further advice.

Habitat Enhancement

It is likely that the Eastleigh Borough Council planners will require some form of habitat enhancement on the site as a condition of granting any planning permission. To achieve this, the following will be included as habitat enhancement :-

- 1) The installation of a single bat box attached high up on one of the larger oak trees on the boundary of the property. This will be a Schwegler type 2FN and should be affixed to the selected tree with a large size aluminium nail. Details of a supplier of this type of box can be provided on request.
- 2) The installation of a bird nest box suitable for small hole-nesting birds such as Blue Tits or Sparrows. This will be placed on a suitable large tree on the perimeter of the garden.

Martin Noble
10 January 2020

Keepers Cottage, Holmsley, Burley, Ringwood, Hampshire BH24 4HY

Tel [REDACTED] Mobile [REDACTED]
E Mail [REDACTED]

Appendices

- 1) Schwegler Bat Box Type 2FN
- 2) Photograph of north-east face of house
- 3) Photograph of south-east face of house
- 4) Photograph of south-west face of house
- 5) Photograph of north-west face of house
- 6) Photograph of main garden from west



Schwegler 2FN Bat Box



View of north-east face of house



View of south-east face of house

Keepers Cottage, Holmsley, Burley, Ringwood, Hampshire BH24 4HY

Tel [REDACTED] Mobile [REDACTED]

E Mail [REDACTED]



View of south-west face of house



View of north-west face of house

Keepers Cottage, Holmsley, Burley, Ringwood, Hampshire BH24 4HY

Tel [REDACTED] Mobile [REDACTED]

E Mail [REDACTED]



View of main garden from the west

Keepers Cottage, Holmsley, Burley, Ringwood, Hampshire BH24 4HY

Tel [REDACTED] Mobile [REDACTED]

E Mail [REDACTED]

Development Management

Eastleigh House, Upper Market Street, Eastleigh, SO50 9YN

Tel: 023 8068 8264 www.eastleigh.gov.uk

Office hours: Mon-Thurs 8.30am - 5pm, Friday 8.30am - 4.30pm



Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	3
Suffix	
Property name	
Address line 1	Barton Drive
Address line 2	
Address line 3	
Town/city	Hamble-Le-Rice
Postcode	SO31 4RG

Description of site location must be completed if postcode is not known:

Easting (x)	447767
Northing (y)	107032
Description	

2. Applicant Details

Title	
First name	Gillian
Surname	Pearson
Company name	
Address line 1	18
Address line 2	oakwood way
Address line 3	hamble
Town/city	southampton
Country	

2. Applicant Details

Postcode

SO31 4HJ

Primary number

Secondary number

Fax number

Email address

Are you an agent acting on behalf of the applicant? ☐ Yes ☒ No

3. Agent Details

No Agent details were submitted for this application

4. Description of Proposed Works

Please describe the proposed works:

The property is a one-bed house on a corner plot with a side and front garden only [no back garden]. The intention is to provide a more secure and enclosed garden ie a more private outside space in which to relax that is safe for children and free of dog faeces. This will be achieved by installing a low fence [approx 0.91m] at the front with a gate and a taller fence [approx 1.67m] at the sides. These fences will be constructed of tanalised close board panels resting on concrete gravel boards and supported by slotted concrete posts. The existing 2m tall shed will be removed and a more secure/better hidden low level store for bicycles will be provided. [Thefts from sheds are current nuisance factor in Hamble.] The dustbins will also be able to be hidden from view. The proposal involve removing two large Leylandii trees that currently overshadow the kitchen window and neighbouring front garden. The neighbours have been consulted and the proposal has been well received. The proposed fence is similar to those around other similar properties in the area; coupled with a garden makeover the result will be a considerable improvement and aesthetically more pleasing than the existing situation.

Has the work already been started without consent? ☐ Yes ☒ No

5. Materials

Does the proposed development require any materials to be used? ☒ Yes ☐ No

Please provide a description of existing and proposed materials and finishes to be used (including type, colour and name for each material):

Boundary treatments (e.g. fences, walls)	
Description of existing materials and finishes (optional):	None - only two leylandii trees approx. 3.5m tall[T1 &T2], one large buddleia bush approx.3.5m tall [T3] and some bushes
Description of proposed materials and finishes:	Side Fences [1.67m high approx]. Front fence [0.91m approx] & front gate gate [0.91m approx]. Closeboard tantalised timber, concrete gravel board, concrete posts [similar to others in neighbourhood]

Are you supplying additional information on submitted plans, drawings or a design and access statement? ☒ Yes ☐ No

If Yes, please state references for the plans, drawings and/or design and access statement

Reference Photos of existing front & side garden & Fence Style/Materials

Ref 4 - Existing Plan No 3 Barton Drive - Proposed Side Fence, Front Fence & Front Gate

6. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development? ☒ Yes ☐ No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Ref 4 - Existing Scale Plan showing Trees [T1 & T2 both Leylandii] , [T3] Buddleia Large Bush & Miscellaneous Bushes
[Also see photos]

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? ☒ Yes ☐ No

5. Trees and Hedges

If Yes, please show on your plans, indicating the scale, which trees by giving them numbers (e.g. T1, T2 etc) and state the reference number of any plans or drawings:

Ref 4 Existing Scale Plan showing Tree [T1 & T2 both Leylandii - both to be removed
Buddleia Large Bush - T3 - pruned/removed if necessary to put fence post in and to stop bush overshadowing pavement.
Miscellaneous Bushes - pruned
[Also see photos]
Note: garden will be re-planted with more appropriately sized trees/bushes

7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

☐ Yes ☒ No

3. Parking

Will the proposed works affect existing car parking arrangements?

☐ Yes ☒ No

3. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes ☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- ☐ The agent
☒ The applicant
☐ Other person

10. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☒ Yes ☐ No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title	<input type="text"/>
First name	<input type="text"/>
Surname	<input type="text"/>
Reference	<input type="text"/>

Date (Must be pre-application submission)

Details of the pre-application advice received

Discussion with officers of Hamble Parish Council - Chairman of Planning Committee and Clerk to Parish Council: This discussion was to find out if planning permission was actually needed. Both people were unsure if planning permission was needed or not but thought it would be wise to apply.

11. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- a) a member of staff
b) an elected member
c) related to a member of staff
d) related to an elected member

11. Authority Employee/Member

It is an important principle of decision-making that the process is open and transparent.

☐ Yes ☒ No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

12. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person role

- ☒ The applicant
☐ The agent

Title	<input type="text" value="Mrs"/>
First name	<input type="text" value="Gillian"/>
Surname	<input type="text" value="Pearson"/>
Declaration date (DD/MM/YYYY)	<input type="text" value="23/01/2020"/>

☒ Declaration made

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them. ☒

Date (cannot be pre-application)	<input type="text" value="23/01/2020"/>
----------------------------------	---

No 5
BARTON DRIVE

PAVEMENT

EXISTING PLAN, No 3 BARTON DRIVE

REFERENCE 4.

T1 LEYLANDII

T2 LEYLANDII

T3 BUDDLEIA LARGE BUSH

No 1 BARTON
DRIVE

KITCHEN

T1

T2

LOUNGE

SHED

CUL DE SAC
PARKING.

5250

3700

SHRUBS

T3

SHRUBS

PARISH COUNCIL
LAND

NORTH

PAVEMENT

8190

3200

BARTON DRIVE
(CUL DE SAC)

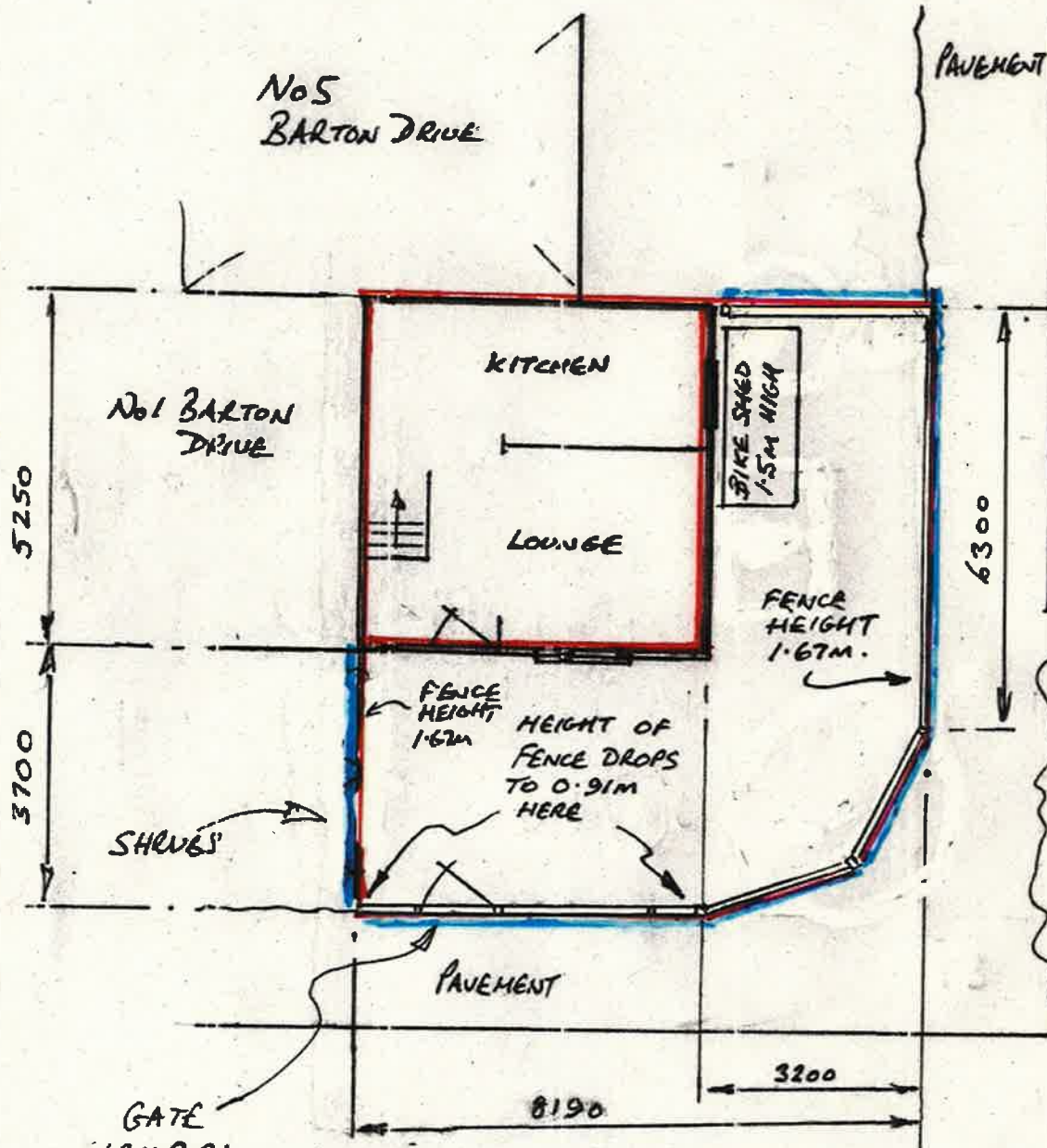
Scale 1 : 100

No 5
BARTON DRIVE

PROPOSED GARDEN PLAN No 3 BARTON DRIVE
REFERENCE 5.

ORIGINAL
PAPER SIZE A4
SHEET

SCALE 1:100
(metres)



CUL DE SAC
PARKING

SHRUBS

PARISH COUNCIL
LAND

NORTH

BARTON DRIVE
(W/ DE SAC)

Scale 1:100

3, Barton Drive, Hamble-le-ric, Hampshire, SO31 4RG



Block Plan shows area bounded by: 447710.59, 106977.76 447800.59, 107067.76 (at a scale of 1:500), OSGridRef: SU4775 702. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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