

Hamble-le- Rice Parish Council
PLANNING COMMITTEE MEETING
Monday 23rd September 2019 at 7.00pm
at The Mercury Library & Community Hub, High Street, Hamble SO31 4JE
This meeting is open to members of the public.

AGENDA

1. **Welcome**
 - a. Apologies for absence
 - b. Declaration of interest and approved dispensations
 - c. Approve minutes
2. **Public Session**
3. **GE Aviation Update**
4. **Land at Satchell Lane – Judicial Review Decision**
5. **Eastleigh Borough Council Local Plan: Examination Hearing Sessions**
6. **Policy 156: Open Space**
7. **England Coastal Path: Submission**
8. **Signage Project**
9. **Hamble Lane: Traffic Survey**
10. **Note Delegated Authority Decisions Made Over Summer Recess**

APPLICATIONS WITHIN HAMBLE PARISH

11. **F/19/85302 -Land off the B397, Hound, Hampshire, SO31 5FT**
Installation of battery standby energy facility consisting of 13No. structures within a compound surrounded by 2.4 metre high security fence.
Consultation Ends: 18/09/2019 (extension granted for PC comments)
12. **H/19/86231 - 27 OLD PRIORY CLOSE, HAMBLE, SO31 4QP**
Single storey rear and side extension.
Consultation Ended: 12/09/2019 (extension granted for PC comments)
13. **L/19/86285 & F/19/86236 - FLAT 11, HAMBLE CLIFF HOUSE, WESTFIELD COMMON, HAMBLE, SO31 4HY**
Addition of kitchen extraction flue to rear of roof parapet and internal alterations.
Consultation Ends: 28/09/2019

DECISIONS

14. **H/19/85658 – 28 Old Priory Close, Hamble, SO31 4QP**
Lawful Development Certificate - Existing Use as Private storage of boats and equipment.
DECISION: 10/07/19 - Permit (Delegated Decision)
15. **H/19/85789 – 110 Hamble Lane, Hamble, SO31 4HT**
Demolition of existing garage, erection of new double garage and store building.
DECISION: 30/07/19 - Permit (Delegated Decision)
16. **T/19/85895 - 24 BARTON DRIVE, HAMBLE, SO31 4RE**
Sycamore (G1) - Reduce overhang back to boundary to suitable growth points 1 no.
Sycamore (T1) - Fell and replace with suitable species.
DECISION: 05/08/19 - Part Consent Part Refuse Trees (Delegated Decision)
17. **LDC/19/85841 - 26 CROWSPORT, HAMBLE, SO31 4HG**
Lawful Development Certificate for an existing use: Existing Terrace to be used as Terrace.
DECISION: 07/08/19 - CLUED - Certificate Not Issued Delegated Decision

18. **H/19/85917 - 28 BARON ROAD, HAMBLE, SO31 4RN**
Single storey side extension/ rear garden flat roof extension to provide accessible bedroom with internal alterations forming wetroom.
DECISION: 09/08/19 - Permit (Delegated Decision)
19. **H/19/85957 - 54 COACH ROAD, HAMBLE, SO31 4LA**
Single storey extension to side.
DECISION: 09/08/19 - Permit (Delegated Decision)
20. **H/19/85079 - 9 KINGFISHER CLOSE, HAMBLE, SO31 4PE**
Raise roof ridge to provide second floor living accommodation with associated rear dormer, extension of first floor rear balcony and alterations to fenestration to south elevation.
DECISION: 12/08/19 - Permit (Delegated Decision)
21. **T/19/86006 - 29 OLD PRIORY CLOSE, HAMBLE, SO31 4QP**
Proposal1 no. Horse Chestnut (T1) - Fell.
DECISION: 16/08/2019 - Consent To Tree Works For (Delegated Decision)
22. **H/19/86060 - 44 BARTON DRIVE, HAMBLE, SO31 4RE**
Erection of a car port.
DECISION: 21/08/2019 - Permit (Delegated Decision)
23. **NC/19/86118 - ORCHARD LODGE, SCHOOL LANE, HAMBLE, SO31 4JD**
1 no. Holly (T1) - Crown lift to give a 1.5 metre clearance over the garage. Reduce the lateral growth only on Orchard Lodge property side by up to 1.5 metres.
DECISION: 27/08/2019 - Raise No Objection To
24. **F/19/85997 - South Point 3 (SP3), Hamble Lane, Hamble, SO31 4NH**
Siting of water treatment plant and enclosure within existing site.
DECISION: 28/08/19 - Permit (Delegated Decision)
25. **T/19/86124 - 4 SYLVAN LANE, HAMBLE, SO31 4QG**
1 no. Holm Oak - reduce lateral growth away from property by 2.5m and reduce canopy height by 4m.
DECISION: 02/09/2019 - Part Consent Part Refuse Trees (Delegated Decision)
26. **H/19/86074 - 9 WESTFIELD COMMON, HAMBLE, SO31 4LB**
Single story side extension in replacement of existing garage.
DECISION: 11/09/2019 - Permit (Delegated Decision)
27. **LDC/19/86058 - Barncroft, Corner, Hamble, SO31 4RZ**
Lawful Development Certificate - Existing Use as Private storage of boats and equipment.
DECISION: 13/09/2019 - CLUED - Certificate Not Issued

Exempt Business - To consider passing a resolution under Section 100A(4) of the Local Government Act 1972 in respect of the following items of business on the grounds that it is likely to involve the disclosure of exempt information as defined in paragraph 3 of Part 1 of Schedule 12A of the Act.
28. **Well Lane**
29. **Enforcement Cases**

Dated: 17th September 2019

Signed: *Amanda Jobling*, Clerk to Hamble Parish Council#

UPCOMING PARISH COUNCIL MEETINGS (subject to being agreed by Council on 13th May)

Full Council – Monday 14th October, 7pm at The Mercury

Planning Committee – Monday 28th October, 7pm at The Mercury

Asset Management Committee – Tuesday 5th November, 8.30am at The Mercury

Full Council – Monday 11th November, 7pm at The Mercury

Planning Committee – Monday 25th November, 7pm at The Mercury

OTHER UPCOMING PUBLIC MEETINGS**Local Area Committee Meetings**

Thursday 26th September, 6pm at Hamble Primary School

**Minutes of the Planning Committee held on Monday 22nd July 2019 at The Mercury
Library and Community Hub, High Street, Hamble at 7PM**

PRESENT:

Cllr I Underdown (Chair)
Cllr J Dajka (arrived 19.08)
Cllr T Dann
Cllr J Nesbit-Bell
Cllr T Ryan
Cllr A Thompson

Cllr Simon Hand also present

Minutes are reference using the following notation the date followed by the item number. The minute prefix is 22.07.19 -

IN ATTENDANCE:

Clerk

Members of the public:

None

1a. Apologies for Absence

Cllr Rolfe

1b. Declarations of interest and approved dispensations

Cllr Underdown - Foreshore and Dinghy Park

1c. Approve Minutes of the Planning Committee held on 24th June 2019

Proposed Cllr Thompson Seconded Cllr Ryan

A couple of minor changes had been made and highlighted. It was resolved that the minutes of the above meeting be accepted as a true record. The minutes were then signed by the Chair.

2. Public Session

None

3. Correspondence regarding Cycle Ways

The Clerk was asked to update the Planning Committee on resolving the issue of cyclists riding over Hamble Halt Bridge causing potential problems for residents that have a shared drive out onto Hamble Lane. The Clerk confirmed that HCC would be replacing the missing signs and reviewing the location.

Members commented on the correspondence received about the cycleway and in particular the fact that scooters weren't entitled to use it. Also voiced concerns about the condition of the cycle way and the need for improvements. The Clerk confirmed that the letter had been submitted to HCC team that is responsible for cycleways.

4. GE Application Update

The Clerk confirmed that both the Chair of Planning and Council have been listed to speak at Thursday's meeting of the Local Area Committee at Pilands Wood. Members raised concerns about the confusion over venues and the time of the meeting which was earlier than parish meetings and could preclude those working from attending.

Currently speakers are likely to be allowed two and half minutes. The Chair asked that Members do not opt to speak without first being briefed on the Councils position.

Signed: _____

Date: _____

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5. Traffic Survey

Clerk highlighted the current issues with the report and the need for more information about comparators across Hampshire. When further information is available it will be circulated and included on the Planning Committee Agenda in September

6. England Coastal Footpath

Chair highlighted the previous responses that the Council had made and the objection that HPC has made to the use of the Pink Ferry as the crossing point rather than the first bridge crossing which is a discretionary option available to Natural England. HPC have objected to the Ferry being part of the designated route due to the fixed hours of operation which could limit people's ability to cross when the Ferry is not in service. Chair also highlighted the revised diversion at Hamble Point/Common which is due to wet ground conditions on the existing line. There were also concerns about the area of restriction off of the Foreshore at the public hard. Not clear why has been highlighted as it is part of the beach with public access.

Further consideration needs to be given to whether we raise a formal objection to the proposals given we are landowners and a statutory consultee or we just make representations. If we object, we will need to attend the public hearing. Agreed that the Clerk and Chair would draft a response for submission.

7. Signage Working Group Feedback

Cllr Thompson outlined the work carried out so far, but what now needs to be done to rationalise and improve the signage. Suggested that we seek advice about how to achieve this and accept the recommendations in the report including liaison with businesses and brown sign users. Group to report back in due course.

APPLICATIONS WITHIN THE PARISH

8. H/19/85079 - 9 KINGFISHER CLOSE, HAMBLE, SO31 4P

Raise roof to provide second floor living accommodation with associated rear dormer, extension of first floor rear balcony. (Amended plans from original application of 01/03/2019).

Object. Despite the revisions to the application the Committee still felt that the second floor due to its siting, design, massing and scale, would create an unattractive and incongruous feature at odds with the appearance of the house and neighbouring properties and detrimental to the character and pattern of development within the locality.

Proposed Cllr Dajka Seconded Cllr Thompson

9. H/19/85917 - 28 BARON ROAD, HAMBLE, SO31 4RN

Single storey side extension/ rear garden flat roof extension to provide accessible bedroom with internal alterations forming wetroom.

Object. This remains a large side extension that will be very visual from the street and will compromise the design of the surrounding properties and the visual integrity of the estate.

Proposed Cllr Dajka Seconded Cllr Thompson

10. F/19/85990 - Mercury Marina Satchell Lane, Hamble, SO31 4HQ

Upgrading and improvement of existing access road and new soft landscaping (re-submission of F/16/78751).

Comment. Committee welcomed the improvements but wanted to be certain that they were delivered in a timely fashion.

Proposed Cllr Ryan Seconded Cllr Dann

11. H/19/85957 - 54 COACH ROAD, HAMBLE, SO31 4LA

Single storey extension to side.

Support – Sympathetic to other extensions in the location.

Proposed Cllr Thompson Seconded Cllr Dajka

12. F/19/85997 - South Point 3 (SP3), Hamble Lane, Hamble, SO31 4NH

Siting of water treatment plant and enclosure within existing site.

Support. No visually intrusive from outside of the plant.

Proposed Cllr Thompson Seconded Cllr Ryan

13. T/19/85895 - 24 BARTON DRIVE, HAMBLE, SO31 4RE

*Sycamore (G1) - Reduce overhang back to boundary to suitable growth points
1 no. Sycamore (T1) - Fell and replace with suitable species.*

Object. The absence of photographic material and expert advice on the condition of the respective trees means that the Council object until the further information is available.

Proposed Cllr Thompson Seconded Cllr Ryan

DECISIONS

14 – 15 The outcome of the applications listed were noted.

EXEMPT BUSINESS

Proposed Cllr Underdown Seconded Cllr Thompson

It was resolved due to the nature of the business to exclude members of the public and press and move into Exempt Business.

The following matters were discussed (16) Approve Exempt Minutes for May and (17) Enforcement Cases.

The meeting finished at 20.18pm.

Development Management

Eastleigh House, Upper Market Street, Eastleigh, SO50 9YN

Tel: 023 8068 8264 www.eastleigh.gov.uk

Office hours: Mon-Thurs 8.30am - 5pm, Friday 8.30am - 4.30pm



Application for Planning Permission. Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	<input type="text"/>
Suffix	<input type="text"/>
Property name	<input type="text" value="Land off the B397"/>
Address line 1	<input type="text" value="Hound"/>
Address line 2	<input type="text"/>
Address line 3	<input type="text" value="Eastleigh"/>
Town/city	<input type="text" value="Hampshire"/>
Postcode	<input type="text" value="SO31 5FT"/>

Description of site location must be completed if postcode is not known:

Easting (x)	<input type="text" value="447423"/>
Northing (y)	<input type="text" value="108944"/>
Description	<input type="text"/>

2. Applicant Details

Title	<input type="text" value="Mr"/>
First name	<input type="text" value="Rob"/>
Surname	<input type="text" value="Newberry"/>
Company name	<input type="text" value="Balanced Grid Solutions Ltd"/>
Address line 1	<input type="text" value="Lambourne House"/>
Address line 2	<input type="text" value="7 Western Rd"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Romford"/>
Country	<input type="text"/>

2. Applicant Details

Postcode	<input type="text" value="RM1 3LD"/>
Primary number	<input type="text"/>
Secondary number	<input type="text"/>
Fax number	<input type="text"/>
Email address	<input type="text"/>

Are you an agent acting on behalf of the applicant?

☐ Yes ☐ No

3. Agent Details

Title	<input type="text" value="Miss"/>
First name	<input type="text" value="Bethany"/>
Surname	<input type="text" value="Kington"/>
Company name	<input type="text" value="Enzygo Ltd"/>
Address line 1	<input type="text" value="Enzygo Ltd."/>
Address line 2	<input type="text" value="The Byre"/>
Address line 3	<input type="text" value="Woodend Lane"/>
Town/city	<input type="text" value="Wotton-under-Edge"/>
Country	<input type="text"/>
Postcode	<input type="text" value="GL12 8AA"/>
Primary number	<input type="text" value="01454269237"/>
Secondary number	<input type="text"/>
Fax number	<input type="text"/>
Email	<input type="text" value="bethany.kington@enzygo.com"/>

4. Site Area

What is the measurement of the site area? (numeric characters only).	<input type="text" value="1051"/>
Unit	<input type="text" value="sq.metres"/>

5. Description of the Proposal

Please describe details of the proposed development or works including any change of use.

If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.

<input type="text" value="Development of a battery standby energy facility"/>

Has the work or change of use already started?

☐ Yes ☒ No

6. Existing Use

Please describe the current use of the site

Occupied by unused, old polytunnels

Is the site currently vacant?

☐ Yes ☒ No

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated

☐ Yes ☒ No

Land where contamination is suspected for all or part of the site

☐ Yes ☒ No

A proposed use that would be particularly vulnerable to the presence of contamination

☐ Yes ☒ No

7. Materials

Does the proposed development require any materials to be used?

☐ Yes ☒ No

Please provide a description of existing and proposed materials and finishes to be used (including type, colour and name for each material):

Boundary treatments (e.g. fences, walls)

Description of existing materials and finishes (optional):

Not applicable

Description of proposed materials and finishes:

Mesh type steel fencing on steel support posts 2.4m high. A locked access gate will be provided

Vehicle access and hard standing

Description of existing materials and finishes (optional):

Existing access off the highway

Description of proposed materials and finishes:

The internal access road from the existing highway junction will consist of a single carriageway of a hardcore MOT type 1 construction.

Other type of material (e.g. guttering) Battery containers

Description of existing materials and finishes (optional):

None

Description of proposed materials and finishes:

The battery cabins will consist of green metal cabins (sheet steel) with a number of doors in the same colour and material as the walls.

Walls

Description of existing materials and finishes (optional):

N/A

Description of proposed materials and finishes:

N/A

Roof

Description of existing materials and finishes (optional):

N/A

Description of proposed materials and finishes:

N/A

Windows

Description of existing materials and finishes (optional):

N/A

Description of proposed materials and finishes:

N/A

7. Materials

Doors

Description of existing materials and finishes (optional):

N/A

Description of proposed materials and finishes:

N/A

Lighting

Description of existing materials and finishes (optional):

N/A

Description of proposed materials and finishes:

Downward pointing access lights will be provided at each module

Are you supplying additional information on submitted plans, drawings or a design and access statement?

☐ Yes ☒ No

If Yes, please state references for the plans, drawings and/or design and access statement

Design and Access Statement
CRM.353.002.PL.D.004

8. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Are there any new public roads to be provided within the site?

☐ Yes ☒ No

Are there any new public rights of way to be provided within or adjacent to the site?

☐ Yes ☒ No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

☐ Yes ☒ No

9. Vehicle Parking

Is vehicle parking relevant to this proposal?

☐ Yes ☒ No

10. Trees and Hedges

Are there trees or hedges on the proposed development site?

☐ Yes ☒ No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

☐ Yes ☒ No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of your local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

11. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)

☐ Yes ☒ No

If Yes, you will need to submit a Flood Risk Assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

☐ Yes ☒ No

Will the proposal increase the flood risk elsewhere?

☐ Yes ☒ No

How will surface water be disposed of?

11. Assessment of Flood Risk

- ☐ Sustainable drainage system
- ☒ Existing water course
- ☐ Soakaway
- ☐ Main sewer
- ☐ Pond/lake

12. Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species:

- ☐ Yes, on the development site
- ☐ Yes, on land adjacent to or near the proposed development
- ☒ No

b) Designated sites, important habitats or other biodiversity features:

- ☐ Yes, on the development site
- ☐ Yes, on land adjacent to or near the proposed development
- ☒ No

c) Features of geological conservation importance:

- ☐ Yes, on the development site
- ☐ Yes, on land adjacent to or near the proposed development
- ☒ No

13. Foul Sewage

Please state how foul sewage is to be disposed of:

- ☐ Mains Sewer
- ☐ Septic Tank
- ☐ Package Treatment plant
- ☐ Cess Pit
- ☒ Other
- ☐ Unknown

Other

n/a to application

Are you proposing to connect to the existing drainage system?

☐ Yes ☒ No ☐ Unknown

14. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

☐ Yes ☒ No

Have arrangements been made for the separate storage and collection of recyclable waste?

☐ Yes ☒ No

15. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

☐ Yes ☒ No

16. Residential/Dwelling Units

Due to changes in the information requirements for this question that are not currently available on the system, if you need to supply details of Residential/Dwelling Units for your application please follow these steps:

1. Answer 'No' to the question below;
2. Download and complete this supplementary information template (PDF);
3. Upload it as a supporting document on this application, using the 'Supplementary information template' document type.

This will provide the local authority with the required information to validate and determine your application.

Does your proposal include the gain, loss or change of use of residential units?

☐ Yes ☒ No

17. All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

☐ Yes ☒ No

18. Employment

Will the proposed development require the employment of any staff?

☐ Yes ☒ No

19. Hours of Opening

Are Hours of Opening relevant to this proposal?

☒ Yes ☐ No

If known, please state the hours of opening (e.g. 15:30) for each non-residential use proposed:

Use	Monday to Friday	Saturday	Sunday and Bank Holidays	Unknown
Other	Start Time: 00:00 End Time: 23:59	Start Time: 00:00 End Time: 23:59	Start Time: 00:00 End Time: 23:59	

20. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

The batteries will be connected via underground cables. During times when energy supply exceeds demand, the batteries would charge. During times when energy demand exceeds supply, the batteries would release energy to the nearest substation.

Is the proposal for a waste management development?

☐ Yes ☒ No

If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make it clear what information it requires on its website

21. Hazardous Substances

Does the proposal involve the use or storage of any hazardous substances?

☐ Yes ☒ No

22. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes ☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- ☒ The agent
☐ The applicant
☐ Other person

23. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

24. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

☐ Yes ☒ No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

25. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE B - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner* and/or agricultural tenant** of any part of the land or building to which this application relates.

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural tenant' has the meaning given in section 65(8) of the Town and Country Planning Act 1990

Owner/Agricultural Tenant

Name of Owner/Agricultural Tenant	JOHN CARMELO ARTURI and PAULINE MARY ARTURI
Number	
Suffix	
House Name	Hound Corner Nursery
Address line 1	Old Netley
Address line 2	
Town/city	Southampton
Postcode	SO31 5FT
Date notice served (DD/MM/YYYY)	26/03/2019

Name of Owner/Agricultural Tenant	Stuart Jarvis
Number	
Suffix	
House Name	Hampshire CC Highways
Address line 1	The Castle
Address line 2	
Town/city	Winchester
Postcode	SO23 8UD
Date notice served (DD/MM/YYYY)	26/03/2019

25. Ownership Certificates and Agricultural Land Declaration

Person role

- ☐ The applicant
☒ The agent

Title

Miss

First name

Bethany

Surname

Kington

Declaration date
(DD/MM/YYYY)

26/03/2019

☒ Declaration made

26. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them. ☒

Date (cannot be pre-application)

26/03/2019



enzygo
environmental consultants

Samuel House, 5 Fox Valley Way, Stocksbridge, Sheffield, S30 2AA

CLIENT:
Balanced Grid Solutions

SCALE: 1:2,000@A3 PROJECT REF: CRM.353.002

DRAWN: KR CHECKED: KP DATE: August 2019

PROJECT:
Hamble Lane Netley battery energy storage facility

TITLE:
Site Boundary Plan

DRAWING NO:
CRM.353.002.PL.D.002



Key



Site Boundary



Samuel House, 5 Fox Valley Way, Stocksbridge, Sheffield, S36 2AA

CLIENT:

Balanced Grid Solutions

SCALE:

1:500@A3

PROJECT REF:

CRM.353.002

DRAWN:

KR

CHECKED:

KP

DATE:

August 2019

PROJECT:

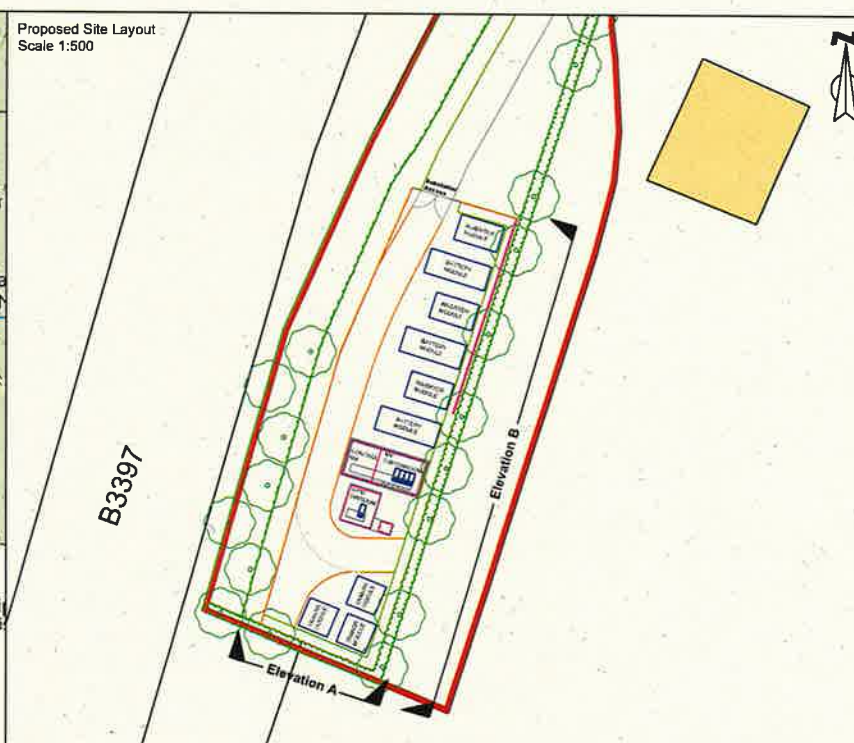
Hamble Lane Netley battery energy storage facility

TITLE:

Site Layout Plan

DRAWING NO:

CRM.353.002.PL.D.003



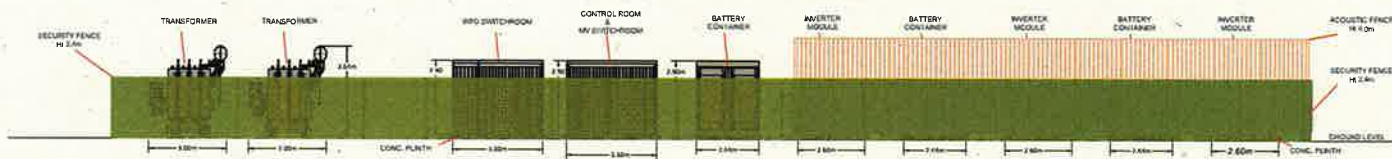
Key

Application Site Boundary

Elevation A Scale 1:200



Elevation B Scale 1:200



enzygo
environmental consultants

Samuel House, 5 Fox Valley Way, Stocksbridge, Sheffield, S36 2AA

CLIENT:
Balanced Grid Solutions

SCALE: PROJECT REF:
As Shown@A3 CRM.353.002

DRAWN: CHECKED: DATE:
KR KP August 2019

PROJECT:
Hamble Lane Netley battery energy storage facility

TITLE:
Site Elevation Plan

DRAWING NO:
CRM.353.002.PL.D.004

HAUNT NURSERY, HAMBLE LANE, NETLEY
BATTERY STORAGE FACILITY - LANDSCAPE STRATEGY

LANDSCAPE AND VISUAL APPRAISAL

Enzygo undertook a site visit 6th March 2018 to understand the site conditions, the relationship of the site to its context and the potential visual impacts of the proposals. This has informed the evolution of the landscape strategy:

LANDSCAPE CHARACTER

The whole of the site is located within the 'Netley, Bursledon and Hamble Coastal Plain' [LCA 9D] the key characteristics of which are:

- "Gently undulating and flat landform with a gentle slope to the coastline ending in a low sea wall above the shingle beach.
- A wooded coastal margin, small wooded stream valleys, a central area of farmland with open character and a suburban feel to much of the area.
- Patchwork of ecological habitats and woodland.
- Extremely fertile agricultural soils on the open coastal plain.
- Areas of former sand and gravel and landfill restoration.
- Market gardening, nurseries and horticulture are frequent land uses.
- A landscape which had a well-developed medieval field pattern around the small hamlets and huge area of common in the north at the end of the 19th century – now largely overwritten by modern fields and development.
- Frequent views over Southampton water.
- Busy road and minor lane network of slow-moving traffic.
- Adjacent coastal biodiversity sites designated for their bird habitats.
- Important historic buildings set within designed grounds."

The site does not lie within, or in close proximity to, any designated landscape. The closest Conservation Area is located at Netley Abbey, over 2km west of the site beyond Netley village.

VISUAL AMENITY

View of the proposed site would be restricted to locations in close proximity south and east of the site. Views from the north [see Photo 3] and west are entirely screened by the mature hedgerows and trees along the sewage treatment track and Hamble Lane. Views from locations within Hound, including the Grade II* Church of St Mary and Grade II Hound [Hall] Farmhouse are also screened by the intervening vegetation. Views east are limited to locations on the local PRoW network within 250-300m of the site, beyond which the sloping topography associated with the River Hamble and woodlands mean that there are no views of the site.

Viewpoint 1 – Access track to Thames water Sewage Treatment Plant [Photo. 1]. Although this is not a PRoW it can be accessed via a stile and links with the PRoW network associated with Mallards Moor. Located approximately 280m east of the site, view across open field towards the site, view partially screened by existing bungalow and farm structures.

Viewpoint 2 – Bridleway No.9 [Photo. 2]. Located approximately 290m south and east of the site, views through immature hedgerow across open field towards the site, view partially screened by existing bungalow and farm structures.

Viewpoint 3 – Footpath 8A [Photo. 3]. Located approximately 240m east of the site on the adjacent field. Views of the site are entirely screened from view by the mature, overgrown hedgerow and trees on the northern edge of the sewage treatment access track.

Viewpoint 4 – Southern Site Boundary [Photo. 4]. Located approximately 55m south of the site, this view represents potential views from the adjacent properties. Any view of the site from these properties would be oblique and would be greatly screened by the existing screen planting on the southern field boundary.

LANDSCAPE MITIGATION

The mitigation proposals would include the retention, protection and enhancement of the existing hedgerow along Hamble Lane maintaining and improving its overall character and managing it for longevity. Additional hedgerows and trees, using locally indigenous species to increase species diversity, will be planted along the eastern and southern boundaries to assist in screening the site from locations to the south and east.

Woodland Mix:

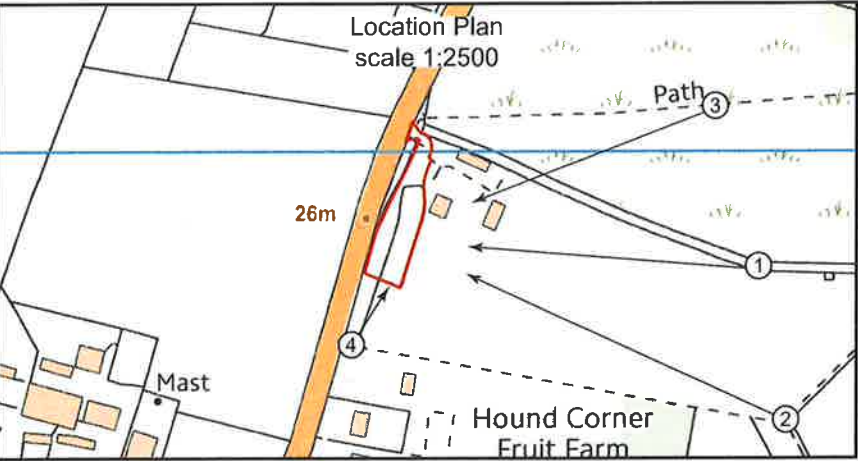
Table with 3 columns: Species, Quantity, Size. Rows include Acer campestre, Betula pendula, Crataegus monogyna, Corylus avellana, Ligustrum vulgare, Prunus spinosa, Rosa canina, Sorbus aucuparia, Taxus baccata.

Hedgerow Species Mix [example]:

Table with 4 columns: Species, Quantity, Size, Specification. Rows include Crataegus monogyna, Corylus avellana, Ligustrum vulgare, Prunus spinosa, Rosa canina.

Individual/ Species Trees

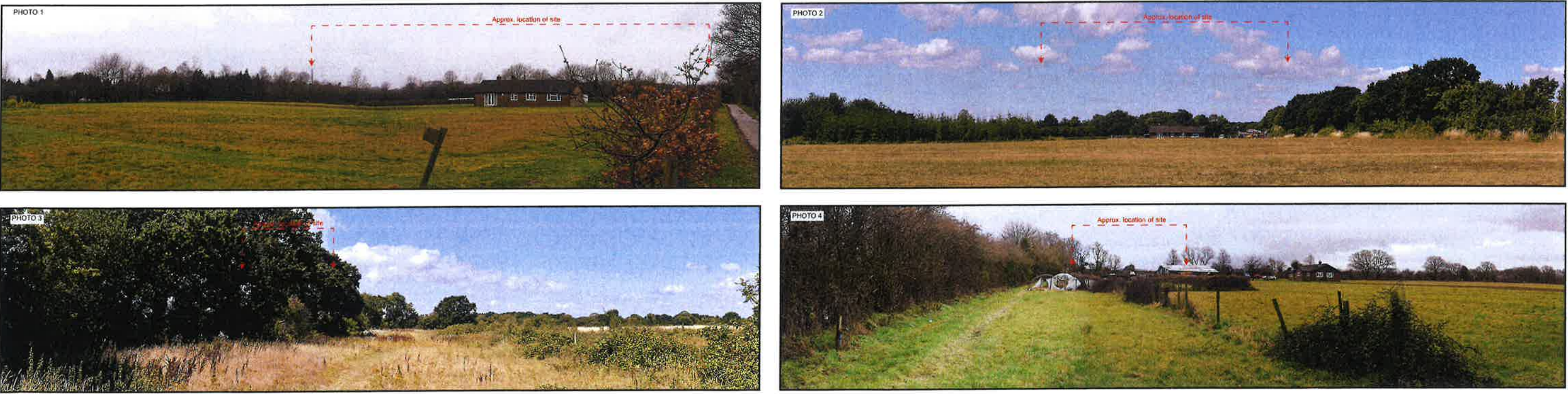
Table with 2 columns: Species, Regular Standard. Rows include Acer campestre, Betula pendula, Quercus robur.



LANDSCAPE STRATEGY

KEY
Application Site Boundary
Proposed Built Form
Access Road/Hard Surfacing
Existing Hedge
Existing Grassland
Existing Trees
Indicative Native Specimen Trees
Proposed Hedge
Proposed Woodland Mix
Proposed Wildflower Mix
Acoustic Fence

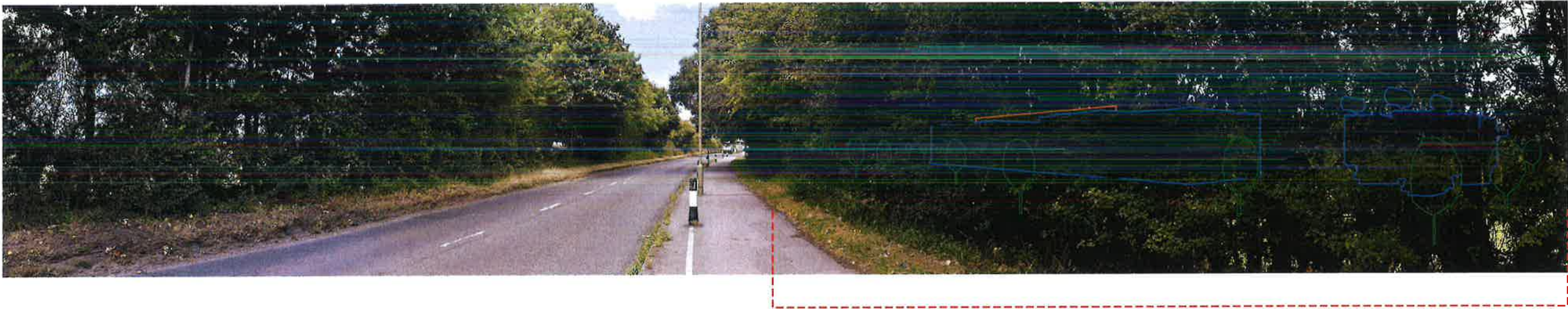
Access road
Proposed acoustic fence
Proposed scattered trees and hedge aligning existing hedgerow to filter views from east and south
Proposed woodland mix
Stock proof fence to be installed
Proposed Battery Storage Facility



Existing View



View including proposed development - year 1



View including proposed development - year 15

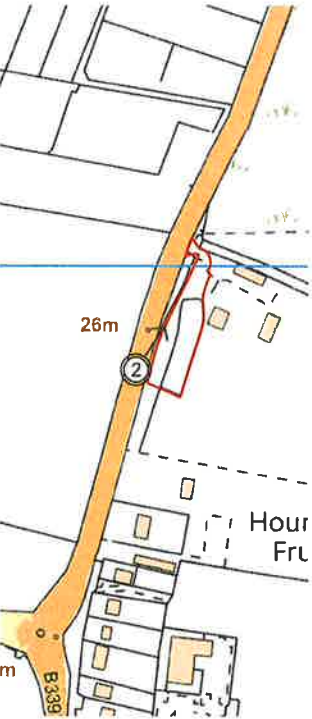


Viewpoint Details:

Viewpoint ID: 2a
Map Co-ordinates: SU 4740108918
Height at Ground Level: 28m AOD
Approx. Distance to Site: 6m
Direction of Site: South west of the site

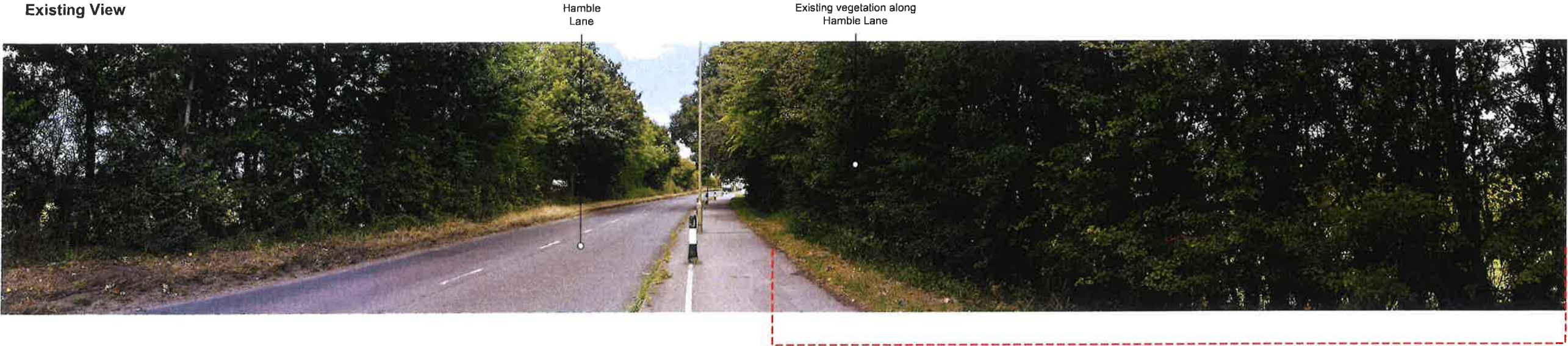
Date of Photo: 19/07/19
Weather Conditions: Sunny
Surveyor: SH
Angle of View: 90°
Distance from Viewer: 500mm

Viewpoint Location Plan



Viewpoint 2 Taken from Hamble Lane

Existing View



View including proposed development - year 1



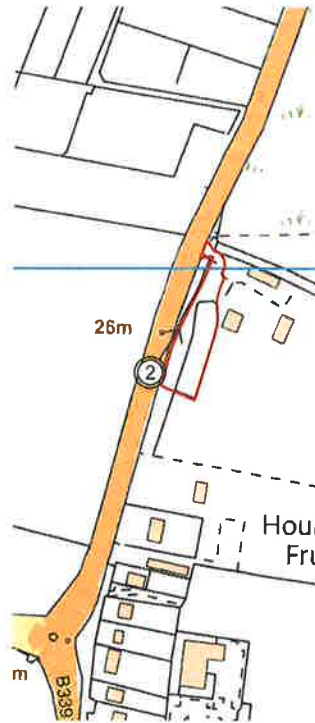
View including proposed development - year 15




Viewpoint Details:

Viewpoint ID: 2
Map Co-ordinates: SU 4740108918
Height at Ground Level: 28m AOD
Approx. Distance to Site: 6m
Direction of Site: South west of the site
Date of Photo: 19/07/19
Weather Conditions: Sunny
Surveyor: SH
Angle of View: 90°
Distance from Viewer: 500mm

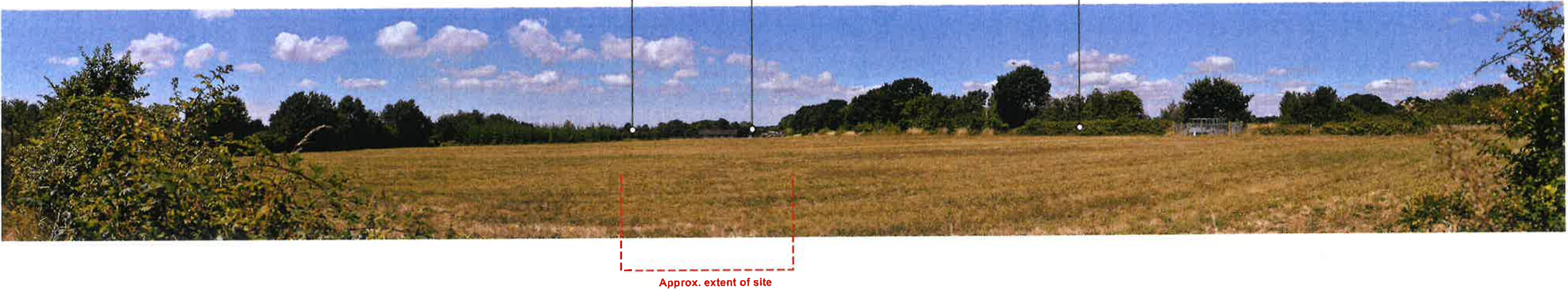
Viewpoint Location Plan



 <small>Barnett House, 17 Fox Valley Way, Blyth, Northumberland, NE61 1JL</small>	Revision Details	Notes	PROJECT		Hamble Lane, Netley
			PAPER SIZE	PROJECT NO.	
			A1	CRM.353.002	
			DRAWING TITLE		
			DATE	DRAWING NO.	
			August 2019	CRM.353.002.LA.D.00.003	
			CLIENT		Viewpoint 2 - Including 3D Photomontage
			DRAWN	CHECKED	
			NP	CG	Balanced Grid Solutions Ltd

Viewpoint 1 Taken from Bridleway N 9

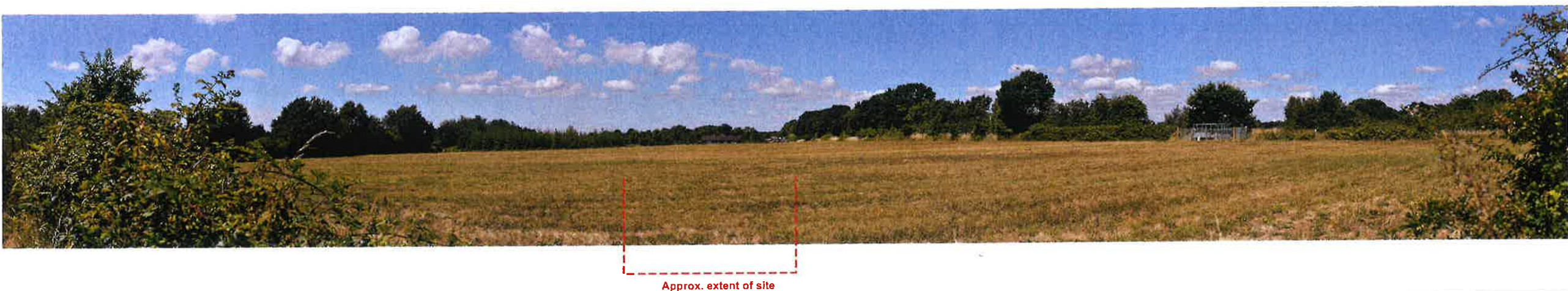
Existing View



View including proposed development - year 1



View including proposed development - year 15

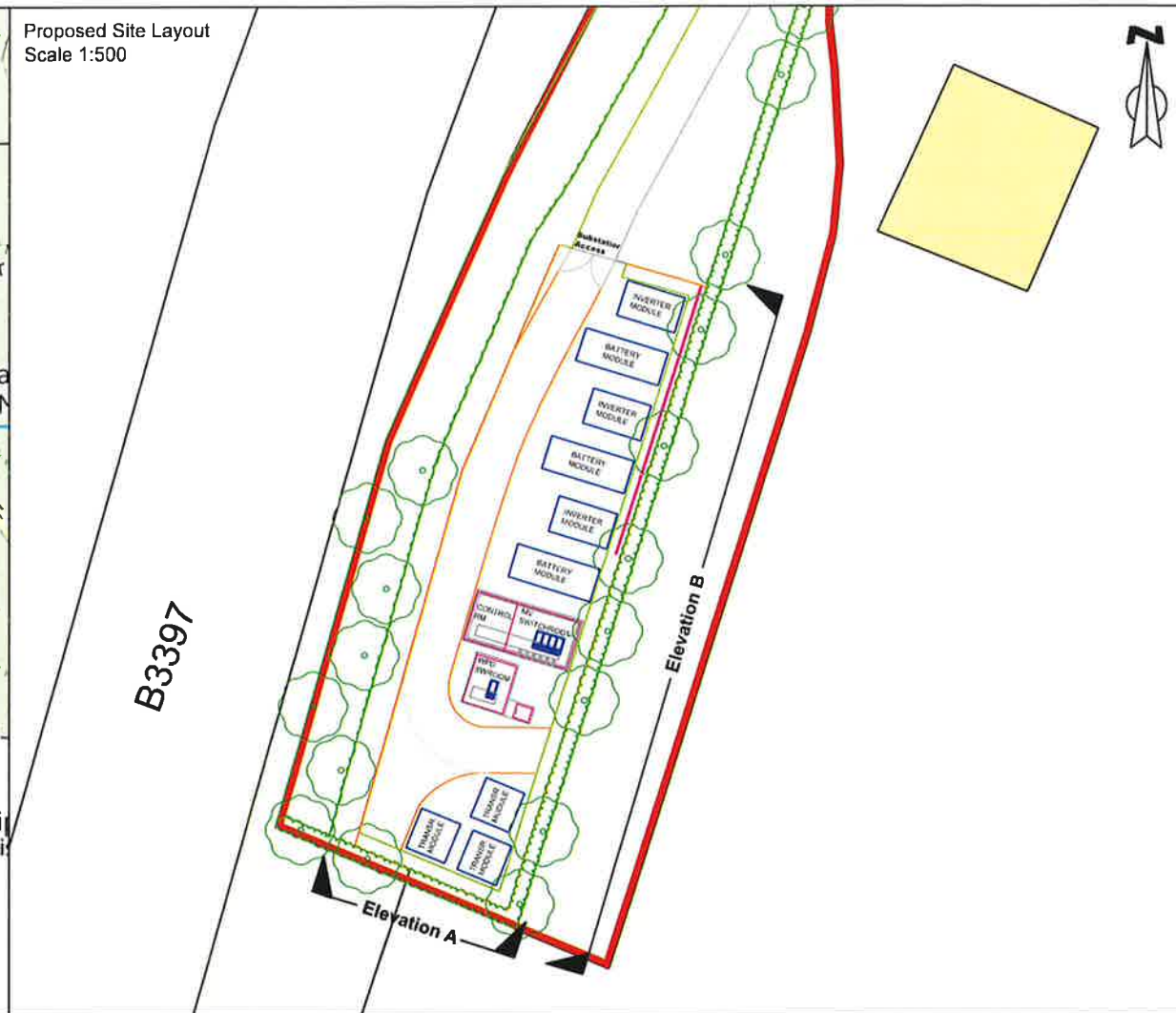
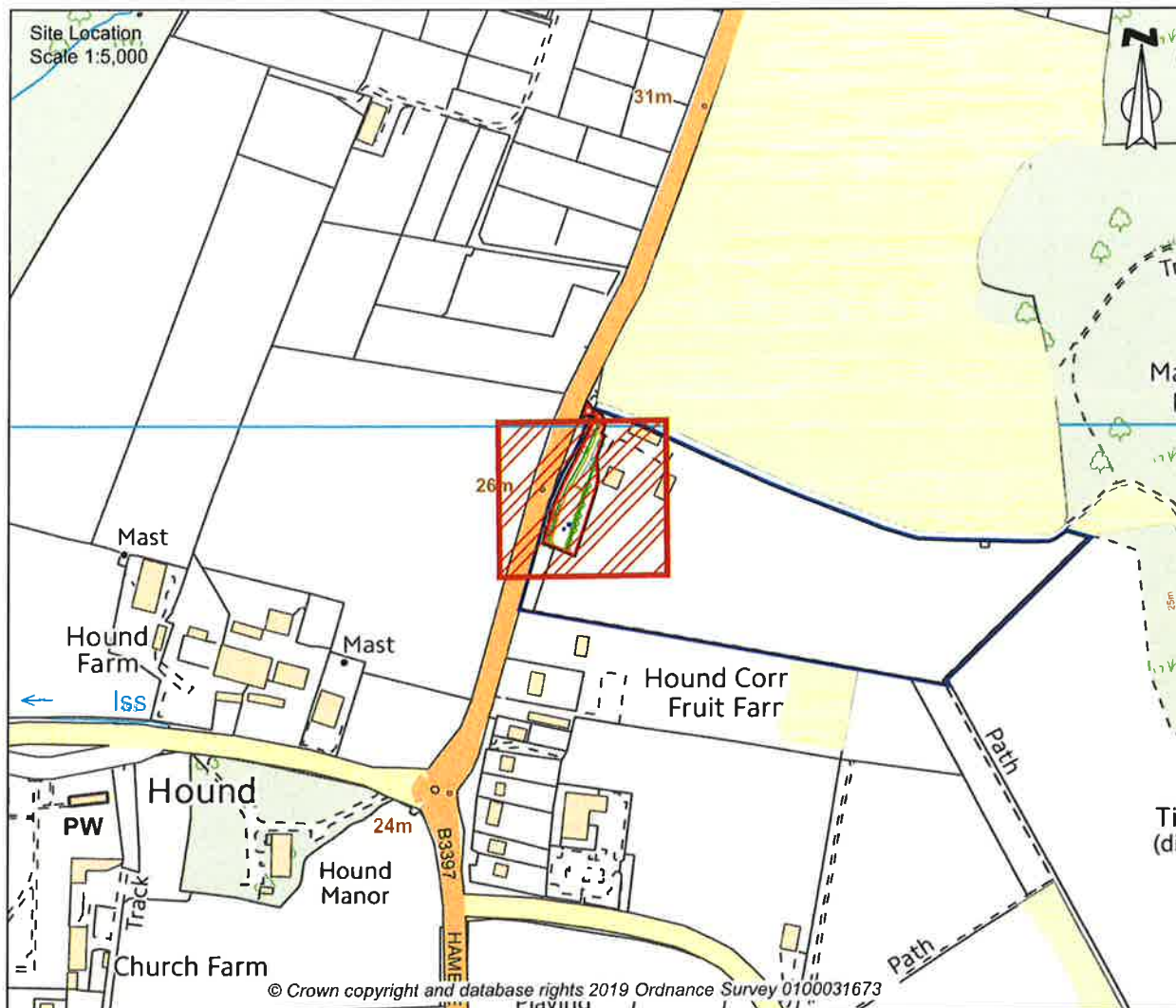


Viewpoint Details:

Viewpoint ID: 1
Map Co-ordinates: SU 47762 08879
Height at Ground Level: 29m AOD
Approx. Distance to Site: 322m
Direction of Site: East of the site
Date of Photo: 19/07/19
Weather Conditions: Sunny
Surveyor: SH
Angle of View: 90°
Distance from Viewer: 500mm

Viewpoint Location Plan

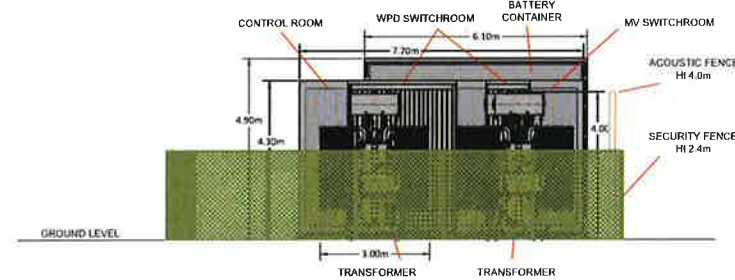




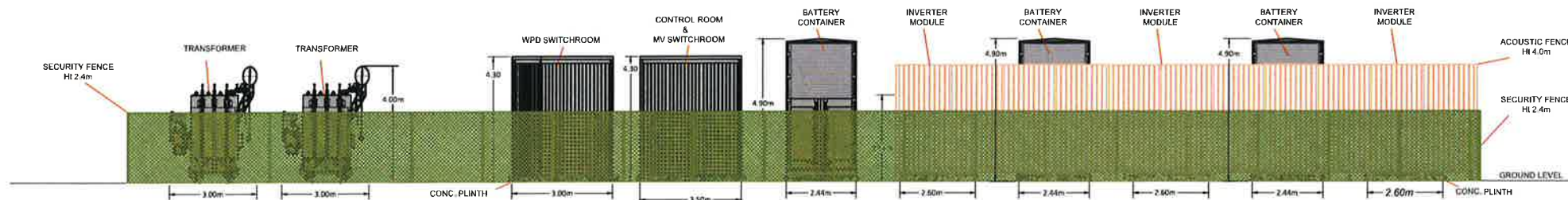
Key

Application Site Boundary

Elevation A Scale 1:200



Elevation B Scale 1:200



enzygo
environmental consultants

Samuel House, 5 Fox Valley Way, Stocksbridge, Sheffield, S36 2AA

CLIENT:
Balanced Grid Solutions

SCALE: As Shown@A3 PROJECT REF: CRM.353.002

DRAWN: KR CHECKED: KP DATE: September 2019

PROJECT:
Hamble Lane Netley battery energy storage facility

TITLE:
Site Elevation Plan

DRAWING NO:
CRM.353.002.PL.D.004

Gary,

I've reviewed the noise report and the comments made by Stuart previously.

The noise report by Enzygo concludes that daytime noise levels experienced at the nearest dwellings would be much less than the existing ambient noise levels and therefore not an issue. At night the site noise levels are predicted to be higher than the background noise levels by 1-2dBA which they consider to be a low impact. The management of the noise impact is achieved by the installation of an acoustic barrier of height 4m running along the northern half of the eastern site boundary. Without this barrier the noise impact at night at the nearest dwellings would be unacceptable. The report's author states that they have considered a 'worst case' scenario, however they have not provided details of what they consider to be a worst case in terms of modelling assumptions and operation of the site.

Reviewing Stuarts comments: he asked for the technical data sheets for the plant to be utilised on site, this has not been provided. We have asked for this so that we can establish if there are likely to be any tonal characteristics for the equipment being installed. As electrical switching equipment and transformers are proposed we would expect there to be some tonal element to the noise generated. The noise assessment carried out assumes that the noise will not be tonal. This potentially underestimates the impact of noise at night on the residential dwellings, as tonal noise attracts a rating penalty under the assessment method used.

He also asked that the HVAC units be situated on the sides of the units and facing away from the dwellings, from the report supplied it is not clear if this is indeed the case. Further, the report's author advises that the HVAC units would not be operational all of the time, rather they would operate to maintain the temperature inside the cabinets, however this cycling would attract a penalty under the noise rating standard used to assess the noise impact, which may be a worse 'worst case' than assuming 100% operation of these units.

Stuart advised that the Council would normally seek a '0 rating' for the noise impact, as opposed to a negative rating of 1 – 2 for the night time impact, as is indicated by the report. We would query why, considering the applicant has options to design the barrier to their requirements, that a barrier leading to a 0, or better, rating was not put forward?

He also commented that the design and construction of the barrier would be crucial in achieving the noise reduction included in the modelling, any shortfall in construction or modelling of the barrier will likely result in the night noise impact being considered as adverse.

The assessment method used to quantify noise impacts compares the likely noise level, plus any appropriate penalty, to the background noise level. Measurements of background noise carried out in 2019 and 2017 have been included, and an average value, 37 dBA, taken and used in the assessment. Looking at night time (which is the most sensitive), background noise levels have been measured on two occasions 21-06-2017, for 30 minutes, and overnight 31/05-01/06-2019 for approx. 3 hours. Background noise levels varied from 41 to 34 dBA, following a falling trend as the night progressed. This is a relatively short assessment period and shows a considerable variation in background noise levels. The assessment method for noise impact advises that representative noise levels be used, it is questionable therefore whether we have sufficient data to establish with confidence a suitably representative background noise level. This is important because a lower background noise level would lead to a higher rating, if for example 34dBA was more representative, then by the methodology of the report this would lead to a rating of 5 which would be classed as an adverse noise impact, and further mitigation needed.

Similarly, by excluding any tonal element from the impact assessment, a lower rating is achieved. If tonal elements are present then the noise impact would be rated higher, and again classed as an

adverse impact. Taking several factors together, tonal noise, lower background and intermittency could potentially lead to a much higher adverse rating.

We have concerns that the modelling is not sufficiently transparent in terms of its approach, and particularly the worst case used. That tonal elements of the noise have been ruled out without provision of any supplier data to confirm that this is the case. That the background noise survey is short, and that a slightly lower background value would alter the findings of the report. And the barrier design does not meet the nominal design criteria of a 0 rating, and therefore there is no tolerance should its performance not meet the design assumptions.

Our view is that it has not been established that the impact at night would be acceptable at the nearest dwellings, indeed, taking the report at face value it has not shown that a 0 rating will be achieved. We would also wish to receive clarification regarding the potential for tonal noise generation from the development, and if tonal noise is likely to be present the assessment must consider this carefully.

Until such time that the above matters are clarified to our satisfaction we are not able to support the proposal.

Regards

Neil Scott
Senior Pollution Control Officer
Service Delivery - Specialist Services - Environment
Ext: 8304
Mobile: 07467012360

Development Management

Eastleigh House, Upper Market Street, Eastleigh, SO50 9YN

Tel: 023 8068 8264 www.eastleigh.gov.uk

Office hours: Mon-Thurs 8.30am - 5pm, Friday 8.30am - 4.30pm

EASTLEIGH
BOROUGH COUNCIL

Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	27
Suffix	
Property name	
Address line 1	Old Priory Close
Address line 2	
Address line 3	
Town/city	Hamble-Le-Rice
Postcode	SO31 4QP

Description of site location must be completed if postcode is not known:

Easting (x)	448043
Northing (y)	106615

Description

2. Applicant Details

Title	Mr & Mrs
First name	
Surname	Wootton
Company name	
Address line 1	27, Old Priory Close
Address line 2	
Address line 3	
Town/city	Hamble-Le-Rice
Country	

2. Applicant Details

Postcode	SO31 4QP
Primary number	
Secondary number	
Fax number	
Email address	

Are you an agent acting on behalf of the applicant?

☒ Yes ☐ No

3. Agent Details

Title	Mr
First name	Les
Surname	Rosenthal
Company name	Rosenthal Design Services Ltd
Address line 1	25 Barnes wallis Road,
Address line 2	
Address line 3	
Town/city	Fareham
Country	
Postcode	PO15 5TT
Primary number	07889028734
Secondary number	
Fax number	
Email	info@rosenthalarchitectural.co.uk

4. Description of Proposed Works

Please describe the proposed works:

This is for a Side and Rear Extension as a wrap around.Flat roof with Glass flat Lanterns Fascia Grey aluminum Gray aluminum windows and doors in the extension to be gray aluminum.

Has the work already been started without consent?

☐ Yes ☒ No

5. Materials

Does the proposed development require any materials to be used?

☒ Yes ☐ No

Please provide a description of existing and proposed materials and finishes to be used (including type, colour and name for each material):

Walls	
Description of existing materials and finishes (optional):	Brick

5. Materials

Walls

Description of proposed materials and finishes:

Brick at front most of walls to be render
See drawing

Roof

Description of existing materials and finishes (optional):

Tiled

Description of proposed materials and finishes:

Flat Roof with Flat Glass lanterns

Windows

Description of existing materials and finishes (optional):

UPVC

Description of proposed materials and finishes:

New at rear Gray aluminum

Doors

Description of existing materials and finishes (optional):

Various

Description of proposed materials and finishes:

In extension Gray Aluminum

Boundary treatments (e.g. fences, walls)

Description of existing materials and finishes (optional):

Various

Description of proposed materials and finishes:

No Change

Vehicle access and hard standing

Description of existing materials and finishes (optional):

Garage and Hard Standing

Description of proposed materials and finishes:

No Change

Lighting

Description of existing materials and finishes (optional):

Not Applicable

Description of proposed materials and finishes:

Not Applicable

Other type of material (e.g. guttering) guttering

Description of existing materials and finishes (optional):

Various

Description of proposed materials and finishes:

To match existing

Are you supplying additional information on submitted plans, drawings or a design and access statement?

☒ Yes ☐ No

If Yes, please state references for the plans, drawings and/or design and access statement

Full set of Scaled Plan and Elevation Drawings including Location and Block Plan

6. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development? ☐ Yes ☒ No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? ☐ Yes ☒ No

7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? ☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway? ☐ Yes ☒ No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way? ☐ Yes ☒ No

8. Parking

Will the proposed works affect existing car parking arrangements? ☐ Yes ☒ No

9. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? ☐ Yes ☒ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- ☐ The agent
- ☒ The applicant
- ☐ Other person

10. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? ☐ Yes ☒ No

11. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent. ☐ Yes ☒ No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

12. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person role

- ☒ The applicant
- ☐ The agent

12. Ownership Certificates and Agricultural Land Declaration

Title	Mr & Mrs
First name	
Surname	Wootton
Declaration date (DD/MM/YYYY)	07/08/2019

☒ Declaration made

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them. ☒

Date (cannot be pre-application)	07/08/2019
----------------------------------	------------

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- 4) Whilst every effort has been made to identify existing visible underground drainage/services, these are Assumptions and it is the contractors responsibility to ensure a survey is carried out to verify and identify any underground drainage/services prior to the carrying out of any excavation work. In some cases a Build over Agreement is needed with the Water Authority. It is the homeowners responsibility and at the home owners cost. Any mains sewer found on site is the responsibility of the home owner and at risk of the build being altered or turned down by the water authority.
- 5) Whilst every effort has been made to ensure dimensions are correct, it is the contractors responsibility to check all dimensions on site prior to any building work and/or any off-site fabrication work being carried out.
- 6) All works are to be carried out in accordance with current Building Regulations British Standards Codes of Practice manufacturers recommendations and to the approval of the Building Control Inspector including the issuance of all requisite notices and the provision of appropriate certificates of testing and commissioning on completion.
- 7) It is the clients responsibility to employ a Primary Contractor and to ensure all building work is carried out in compliance with current Construction Design and Management(CDM2015) regulations and current Health and Safety legislation.
- 8) These plans may be subject to "Planning & Building Regulation Approval" or any other statute in law before the commencement of building works.

M 1:1250	0	12.5	25	37.5	50	62.5
M 1:500	0	5	10	15	200	25

Location Plan

Mr & Mrs Wootton
27 Old Priory Close,
Hamble-Le-Rice,
Southampton,
SO31 4QP

Design 2A - 02.08.19

CLIENT NO:

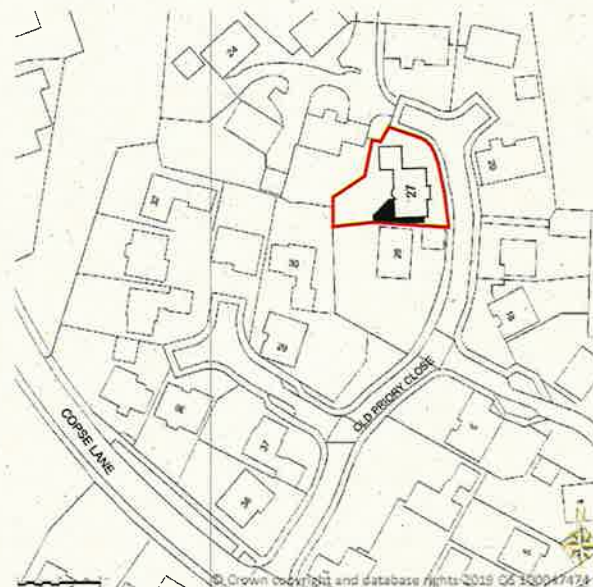
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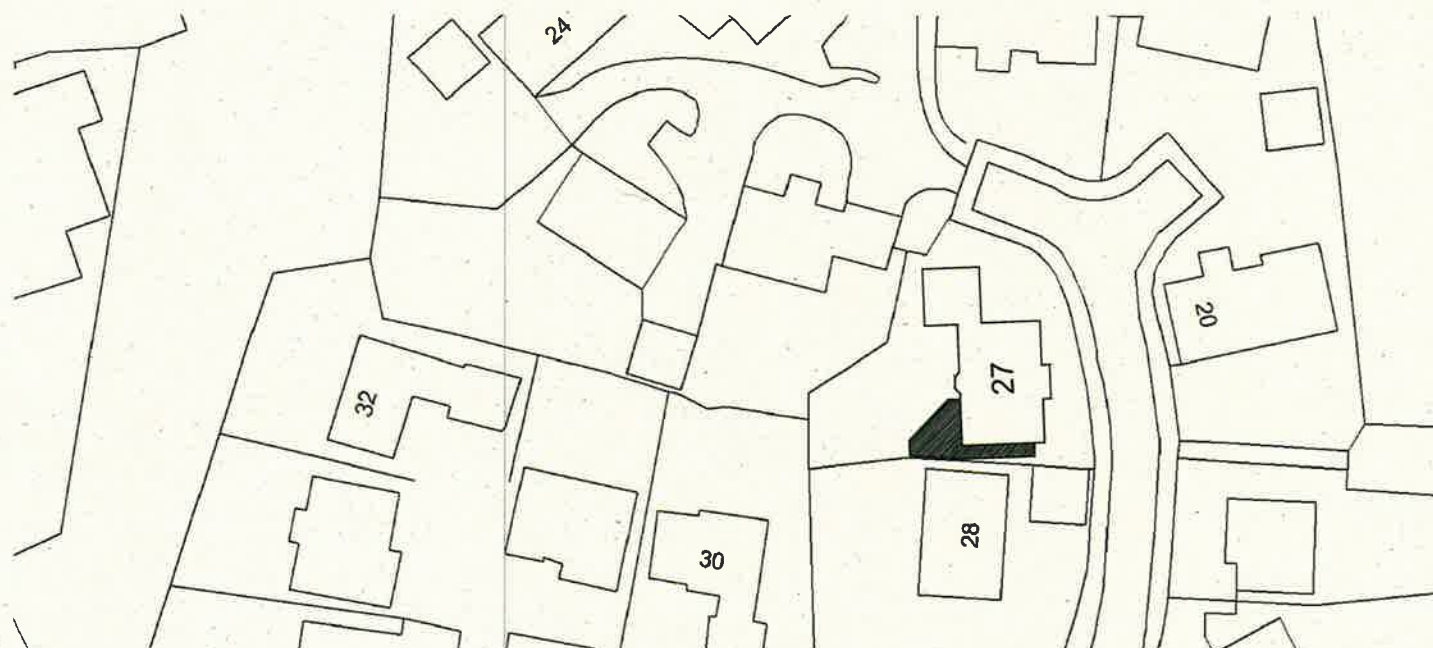
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17.07.19

SCALE @ A3: shown

PG NO: 07



1:1250



1:500

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- 4) Whilst every effort has been made to identify existing visible underground drainage/services, these are Assumption's and it is the contractors responsibility to ensure a survey is carried out to verify and identify any underground drainage/services prior to the carrying out of any excavation work. In some cases a build over Agreement is needed with the Water Authority, it is the homeowners responsibility and at the home owners cost. Any mains sewer found on site is the responsibility of the home owner and at risk of the build being altered or turned down by the water authority.
- 5) Whilst every effort has been made to ensure dimensions are correct, it is the contractors responsibility to check all dimensions on site prior to any building work and/or any off-site fabrication work being carried out.
- 6) All works are to be carried out in accordance with current Building Regulations British Standards Codes of Practice manufacturers recommendations and to the approval of the Building Control Inspector including the issuance of all requisite notices and the provision of appropriate certificates of testing and commissioning on completion.
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M 1:100 0 1 2 3 4 5
M 1:50 0 0.5 1.0 1.5 2.0 2.5

Existing GF Plan

Mr & Mrs Wootton
27 Old Priory Close,
Hamble-Le-Rice,
Southampton,
SO31 4QP

Design 2A - 02.08.19

CLIENT NO:

DRAWN: DS

JOB NO:

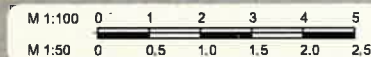
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17.07.19

SCALE @ A3: 1:100

PG NO: 01



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- 4) Whilst every effort has been made to identify existing visible underground drains/elevations, these are Assumption's and it is the contractor's responsibility to ensure a survey is undertaken to verify all existing underground drains/elevations prior to the carrying out of any excavation work. In some cases a build over Agreement is needed with the Water Authority, it is the homeowners responsibility and all the home owners cost. Any mains sewer found on site is the responsibility of the home owner and at risk of not being allowed or limited by the water authority.
- 5) Whilst every effort has been made to ensure dimensions are correct, it is the contractors responsibility to check all dimensions on site prior to any building work and/or any off-site fabrication work being carried out. All works to be carried out are in accordance with the Building Regulations British Standards Codes of Practice manufacturers recommendations and to the approval of the Building Control Inspector including the issuance of all requisite notices and the provision of appropriate certificates of testing and commissioning on completion.
- 6) It is the clients responsibility to ensure that the Contractor and to ensure all building work is carried out in compliance with current Construction Design and Management (CDM2015) Regulations and current Health and Safety legislation.
- 7) These plans may be subject to Planning & Building Regulation Approval or may otherwise be subject to Building Regulation statute in law before the commencement of building works.



Proposed GF Plan

Mr & Mrs Wootton
27 Old Priory Close,
Hamble-Le-Rice,
Southampton,
SO31 4QP

Design 2A - 02.08.19

CLIENT NO:

DRAWN: DS

JOB NO:

DATE:
17.07.19

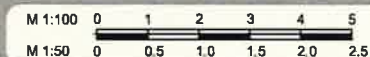
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Existing FF Plan

Mr & Mrs Wootton
27 Old Priory Close,
Hamble-Le-Rice,
Southampton,
SO31 4QP

Design 2A - 02.08.19

CLIENT NO:

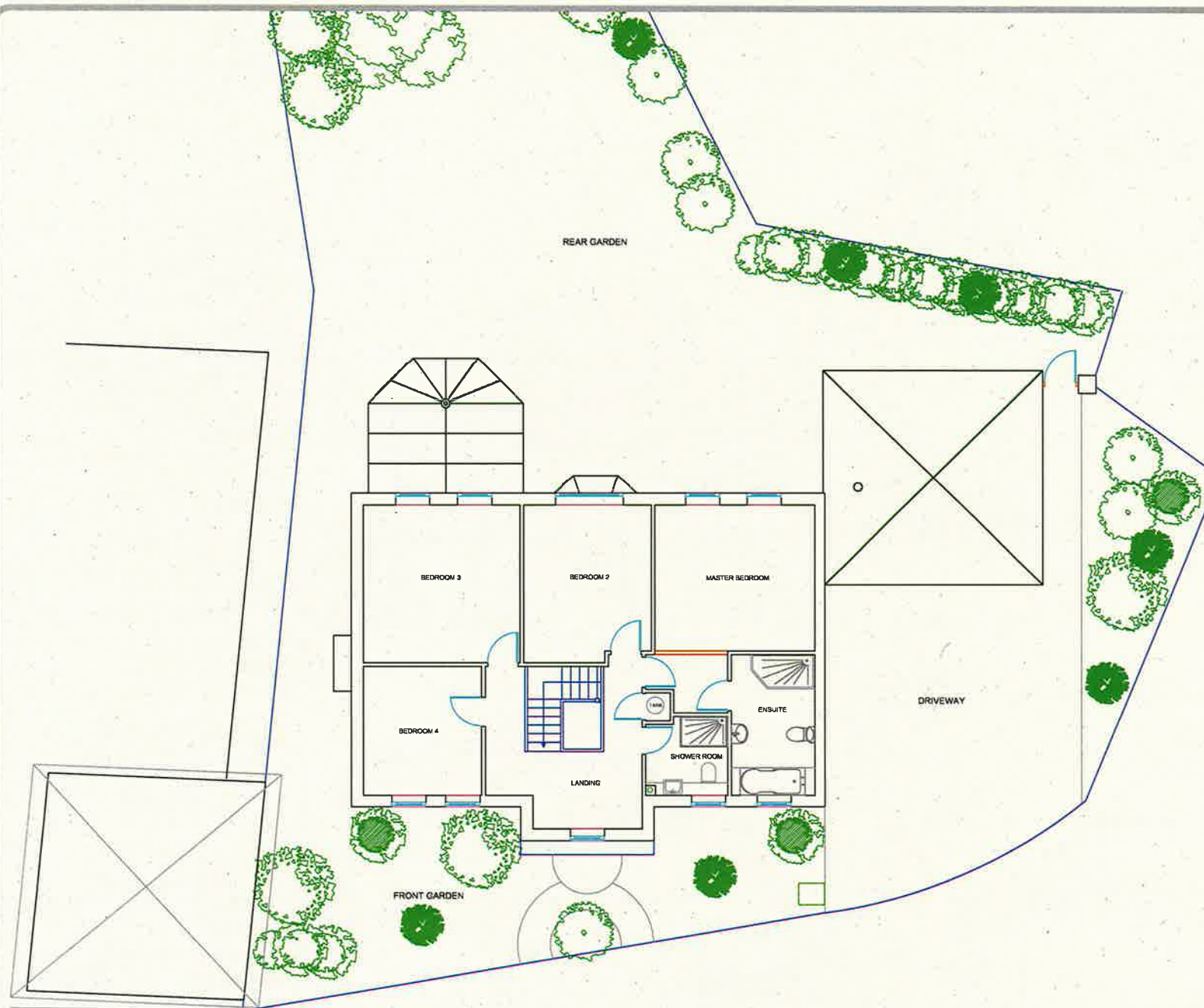
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JOB NO:

DATE:
17.07.19

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PG NO: 03

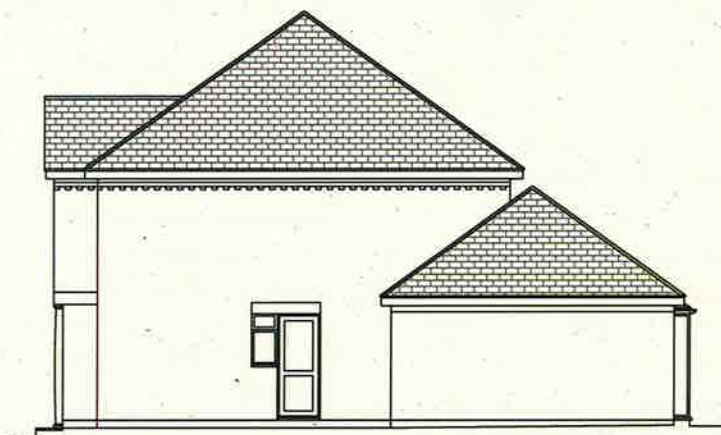




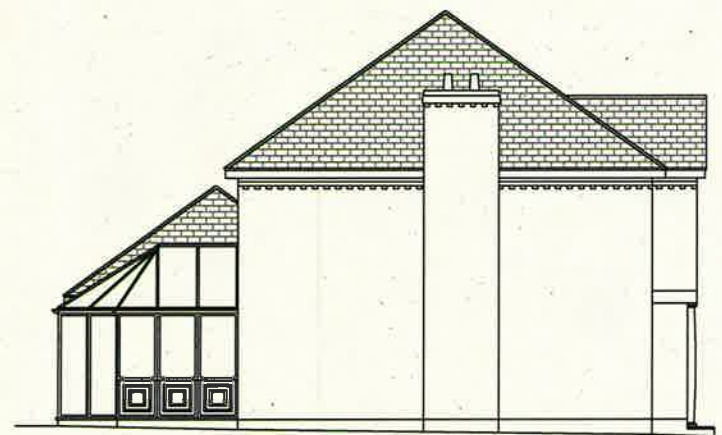
Front Elevation



Rear Elevation



Right Side Elevation



Left Side Elevation

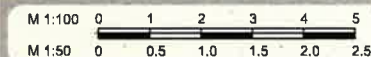


01489 883398

info@rosenthalarchitectural.co.uk

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- 3) This drawing if appropriate should be read in conjunction with the structural engineer's drawings and calculations and the Building Regulation specification. Any discrepancies found between associated documentation should be notified immediately in writing to Rosenthal Architectural Services for clarification prior to any building work and/or any off-site fabrication work being carried out.
- 4) Whilst every effort has been made to identify existing visible underground drainage/services, these are Assumption's and it is the contractor's responsibility to ensure a survey is carried out to verify and identify any underground drainage/services prior to the carrying out of any excavation work. In some cases a build over Agreement is needed with the Water Authority, it is the homeowners responsibility and at the home owners cost. Any mains sewer found on site is the responsibility of the home owner and at risk of the build being altered or turned down by the water authority.
- 5) Whilst every effort has been made to ensure dimensions are correct, it is the contractors responsibility to check all dimensions on site prior to any building work and/or any off-site fabrication work being carried out.
- 6) All works are to be carried out in accordance with current Building Regulations British Standards Codes of Practice manufacturers recommendations and to the approval of the Building Control Inspector including the issuance of all requisite notices and the provision of appropriate certificates of testing and commissioning on completion.
- 7) It is the clients responsibility to employ a Primary Contractor and to ensure all building work is carried out in compliance with current Construction Design and Management(CDM2015) regulations and current Health and Safety legislation.
- 8) These plans may be subject to 'Planning & Building Regulation Approval' or any other statute in law before the commencement of building works.



Existing Elevations

Mr & Mrs Wootton
27 Old Priory Close,
Hamble-Le-Rice,
Southampton,
SO31 4QP

Design 2A - 02.08.19

CLIENT NO:

DRAWN: DS

JOB NO:

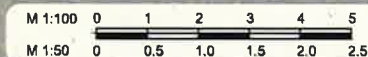
DATE:
17.07.19

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Proposed Elevations

Mr & Mrs Wootton
27 Old Priory Close,
Hamble-Le-Rice,
Southampton,
SO31 4QP

Design 2A - 02.08.19

CLIENT NO:

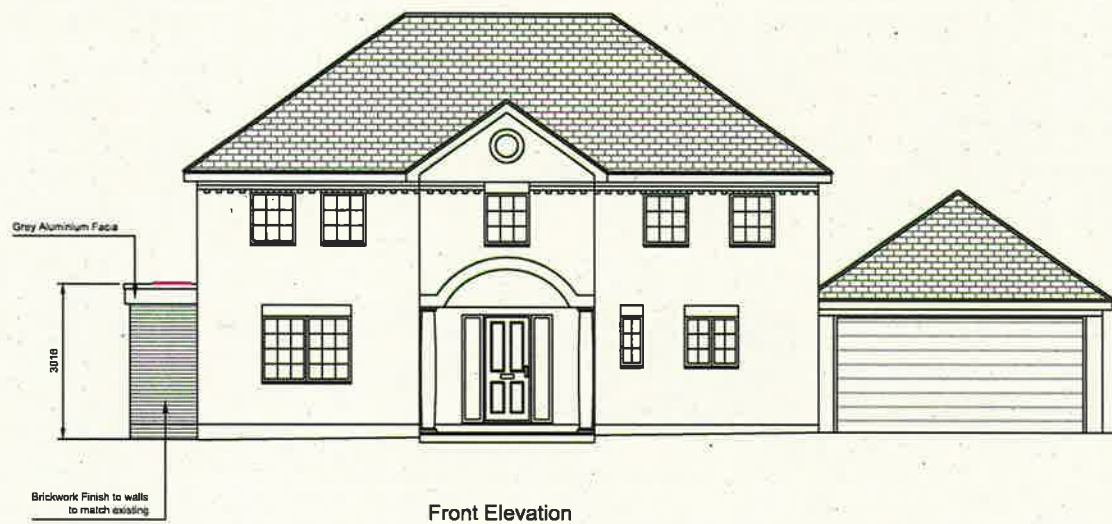
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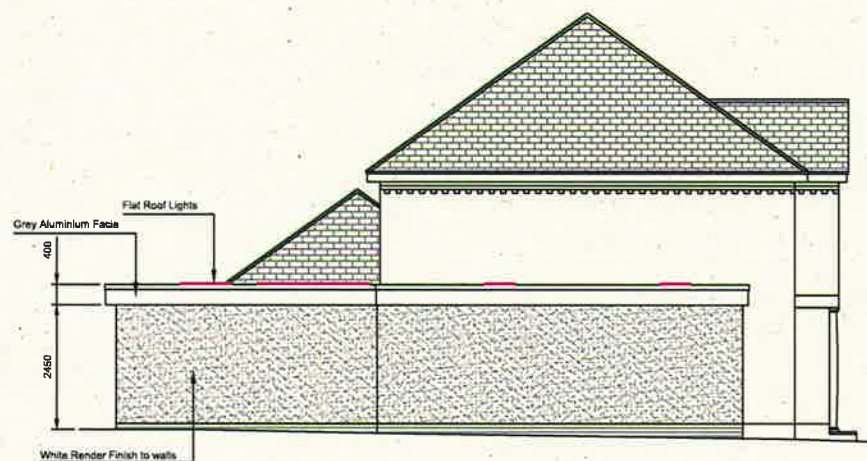
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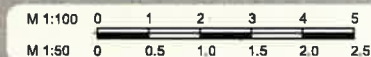
Front Elevation



Left Side Elevation

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Design 2A - 02.08.19

CLIENT NO:

DRAWN: DS

JOB NO:

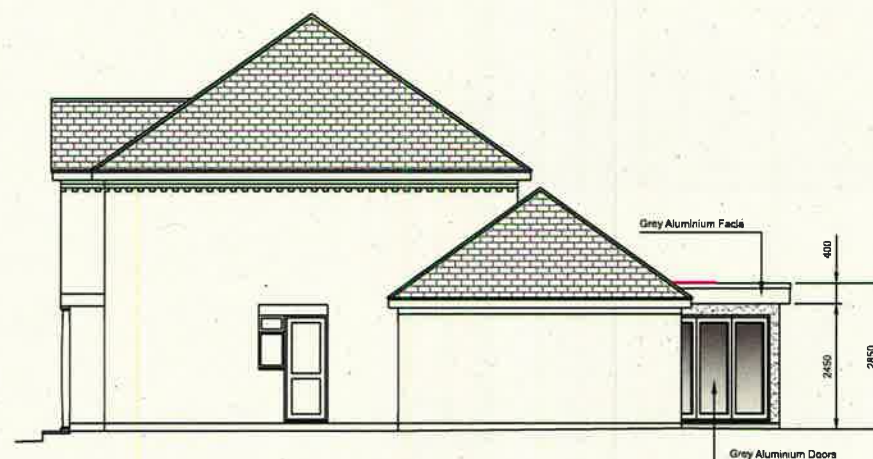
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17.07.19

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PG NO: 06



Rear Elevation



Right Side Elevation

Development Management

Eastleigh House, Upper Market Street, Eastleigh, SO50 9YN

Tel: 023 8068 8264 www.eastleigh.gov.uk

Office hours: Mon-Thurs 8.30am - 5pm, Friday 8.30am - 4.30pm



Application for Planning Permission and listed building consent for alterations, extension or demolition of a listed building.

Town and Country Planning Act 1990
Planning (Listed Buildings and Conservation Areas) Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	<input type="text"/>
Suffix	<input type="text"/>
Property name	<input type="text" value="Hamble Cliff House, Flat 11"/>
Address line 1	<input type="text" value="Westfield Common"/>
Address line 2	<input type="text"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Hamble-Le-Rice"/>
Postcode	<input type="text" value="SO31 4HY"/>

Description of site location must be completed if postcode is not known:

Easting (x)	<input type="text" value="446641"/>
Northing (y)	<input type="text" value="107278"/>
Description	<input type="text"/>

2. Applicant Details

Title	<input type="text" value="Mrs"/>
First name	<input type="text" value="Gaye"/>
Surname	<input type="text" value="Perry"/>
Company name	<input type="text"/>
Address line 1	<input type="text" value="Hamble Cliff House"/>
Address line 2	<input type="text" value="Westfield Common"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Hamble-Le-Rice"/>

2. Applicant Details

Country	
Postcode	SO31 4HY
Primary number	
Secondary number	
Fax number	
Email address	

Are you an agent acting on behalf of the applicant?

☒ Yes ☐ No

3. Agent Details

Title	Mr
First name	Anthony
Surname	Brown
Company name	dwell design
Address line 1	Funtley Court
Address line 2	Funtley Hill
Address line 3	
Town/city	Fareham
Country	United Kingdom
Postcode	PO16 7UY
Primary number	01329717515
Secondary number	
Fax number	
Email	enquiries@dwell-design.co.uk

4. Description of the Proposal

Please describe details of the proposed development or works including details of proposals to alter, extend or demolish the listed building(s).

If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.

Addition of kitchen extract flue to rear of roof parapet. Internal replanning.

Has the development or work already been started without consent?

☐ Yes ☒ No

5. Listed Building Grading

What is the grading of the listed building (as stated in the list of Buildings of Special Architectural or Historical Interest)?

5. Listed Building Grading

- ☐ Don't know
☐ Grade I
☐ Grade II*
☒ Grade II

Is it an ecclesiastical building?

☐ Don't know ☐ Yes ☒ No

6. Demolition of Listed Building

Does the proposal include the partial or total demolition of a listed building?

☒ Yes ☐ No

If Yes, which of the following does the proposal involve?

a) Total demolition of the listed building

☐ Yes ☒ No

b) Demolition of a building within the curtilage of the listed building

☐ Yes ☒ No

c) Demolition of a part of the listed building

☒ Yes ☐ No

If the answer to c) is Yes

What is the total volume of the listed building? 6100

Cubic metres

What is the volume of the part to be demolished?

4

Cubic metres

What was the date (approximately) of the erection of the part to be removed?

Month

6

Year

1990

(Date must be pre-application submission)

Please provide a brief description of the building or part of the building you are proposing to demolish

The proposal is to remove internal walls and internal ashlar perimeter walls.

Why is it necessary to demolish or extend (as applicable) all or part of the building(s) and or structure(s)?

To access the volume of space concealed by the items noted above.

7. Immunity from Listing

Has a Certificate of Immunity from Listing been sought in respect of this building?

☐ Yes ☒ No

8. Listed Building Alterations

Do the proposed works include alterations to a listed building?

☒ Yes ☐ No

If Yes, do the proposed works include

a) works to the interior of the building?

☒ Yes ☐ No

b) works to the exterior of the building?

☒ Yes ☐ No

c) works to any structure or object fixed to the property (or buildings within its curtilage) internally or externally?

☐ Yes ☒ No

d) stripping out of any internal wall, ceiling or floor finishes (e.g. plaster, floorboards)?

☒ Yes ☐ No

If the answer to any of these questions is Yes, please provide plans, drawings and photographs sufficient to identify the location, extent and character of the items to be removed. Also include the proposal for their replacement, including any new means of structural support, and state references for the plan(s)/drawing(s).

19018(pl)01_existing site plans

8. Listed Building Alterations

19018(pl)02_existing floor plan
19018(pl)03_existing elevations
19018(pl)04_proposed site plans
19018(pl)05_proposed floor plan
19018(pl)06_proposed section
Heritage and design and access statement revision B

9. Materials

Does the proposed development require any materials to be used?

☒ Yes ☐ No

Please provide a description of existing and proposed materials and finishes to be used (including type, colour and name for each material) demolition excluded

Please add materials by using the dropdown, clicking 'Add' and filling in all the fields in the popup box.

To correct existing entries, use the 'Edit' link to open the popup box and ensure that all fields are completed.

Internal Walls	
Please provide a description of existing materials and finishes:	Plasterboard lined timber partitions
Please provide a description of proposed materials and finishes:	Plasterboard lined timber partitions

Ceilings	
Please provide a description of existing materials and finishes:	Plasterboard lined timber framed ceilings
Please provide a description of proposed materials and finishes:	Plasterboard lined timber framed ceilings

Other type of material (e.g. guttering) Extract fan outlet	
Please provide a description of existing materials and finishes:	n/a
Please provide a description of proposed materials and finishes:	Domed plastic extract fan outlet

Are you supplying additional information on submitted plan(s)/design and access statement:

☒ Yes ☐ No

If Yes, please state references for the plans, drawings and/or design and access statement

19018(pl)01_existing site plans
19018(pl)02_existing floor plan
19018(pl)03_existing elevations
19018(pl)04_proposed site plans
19018(pl)05_proposed floor plan
19018(pl)06_proposed section
Heritage and design and access statement revision B

10. Site Area

What is the measurement of the site area?
(numeric characters only).

95

Unit

sq.metres

11. Existing Use

Please describe the current use of the site

C3 dwelling

Is the site currently vacant?

☐ Yes ☒ No

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated

☐ Yes ☒ No

11. Existing Use

Land where contamination is suspected for all or part of the site

☐ Yes ☒ No

A proposed use that would be particularly vulnerable to the presence of contamination

☐ Yes ☒ No

12. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Are there any new public roads to be provided within the site?

☐ Yes ☒ No

Are there any new public rights of way to be provided within or adjacent to the site?

☐ Yes ☒ No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

☐ Yes ☒ No

13. Vehicle Parking

Is vehicle parking relevant to this proposal?

☐ Yes ☒ No

14. Foul Sewage

Please state how foul sewage is to be disposed of:

- ☒ Mains Sewer
- ☐ Septic Tank
- ☐ Package Treatment plant
- ☐ Cess Pit
- ☐ Other
- ☐ Unknown

Are you proposing to connect to the existing drainage system?

☒ Yes ☐ No ☐ Unknown

If Yes, please include the details of the existing system on the application drawings. Please state the plan(s)/drawing(s) references.

N/a all connections to remain as- is.

15. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)

☐ Yes ☒ No

If Yes, you will need to submit a Flood Risk Assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

☐ Yes ☒ No

Will the proposal increase the flood risk elsewhere?

☐ Yes ☒ No

How will surface water be disposed of?

- ☐ Sustainable drainage system
- ☐ Existing water course
- ☒ Soakaway
- ☐ Main sewer
- ☐ Pond/lake

16. Trees and Hedges

Are there trees or hedges on the proposed development site?

☐ Yes ☒ No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

☐ Yes ☒ No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of your local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

17. Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species:

- ☐ Yes, on the development site
☐ Yes, on land adjacent to or near the proposed development
☒ No

b) Designated sites, important habitats or other biodiversity features:

- ☐ Yes, on the development site
☐ Yes, on land adjacent to or near the proposed development
☒ No

c) Features of geological conservation importance:

- ☐ Yes, on the development site
☐ Yes, on land adjacent to or near the proposed development
☒ No

18. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

☐ Yes ☒ No

Have arrangements been made for the separate storage and collection of recyclable waste?

☐ Yes ☒ No

19. Residential/Dwelling Units

Due to changes in the information requirements for this question that are not currently available on the system, if you need to supply details of Residential/Dwelling Units for your application please follow these steps:

1. Answer 'No' to the question below;
2. Download and complete this supplementary information template (PDF);
3. Upload it as a supporting document on this application, using the 'Supplementary information template' document type.

This will provide the local authority with the required information to validate and determine your application.

Does your proposal include the gain, loss or change of use of residential units?

☐ Yes ☒ No

20. All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

☐ Yes ☒ No

21. Employment

Will the proposed development require the employment of any staff?

☐ Yes ☒ No

22. Hours of Opening

Are Hours of Opening relevant to this proposal?

☐ Yes ☒ No

23. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

Is the proposal for a waste management development?

☐ Yes ☒ No

If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make it clear what information it requires on its website

24. Hazardous Substances

Does the proposal involve the use or storage of any hazardous substances?

☐ Yes ☒ No

25. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

☐ Yes ☒ No

26. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☐ Yes ☒ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- ☒ The agent
☐ The applicant
☐ Other person

27. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

28. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
(b) an elected member
(c) related to a member of staff
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

☐ Yes ☒ No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

29. Ownership Certificates and Agricultural Land Declaration

Certificate Of Ownership - Certificate B Certificate under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 & Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990

I certify/The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner* and/or agricultural tenant of any part of the land or building to which this application relates.**

*** 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural tenant' has the meaning given in section 65(8) of the Town and Country Planning Act 1990**

Owner/Agricultural Tenant

29. Ownership Certificates and Agricultural Land Declaration

Name of Owner/Agricultural Tenant	Co-freeholders
Number	
Suffix	
House Name	n/a
Address line 1	Hamble Cliff House
Address line 2	Westfield Common
Town/city	Hamble-Le-Rice
Postcode	SO31 4HY
Date notice served (DD/MM/YYYY)	04/06/2019

Person role

- ☐ The applicant
☒ The agent

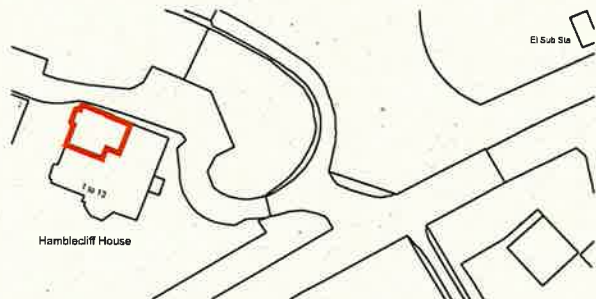
Title	Mr
First name	Anthony
Surname	Brown
Declaration date	14/08/2019

☒ Declaration made

30. Declaration

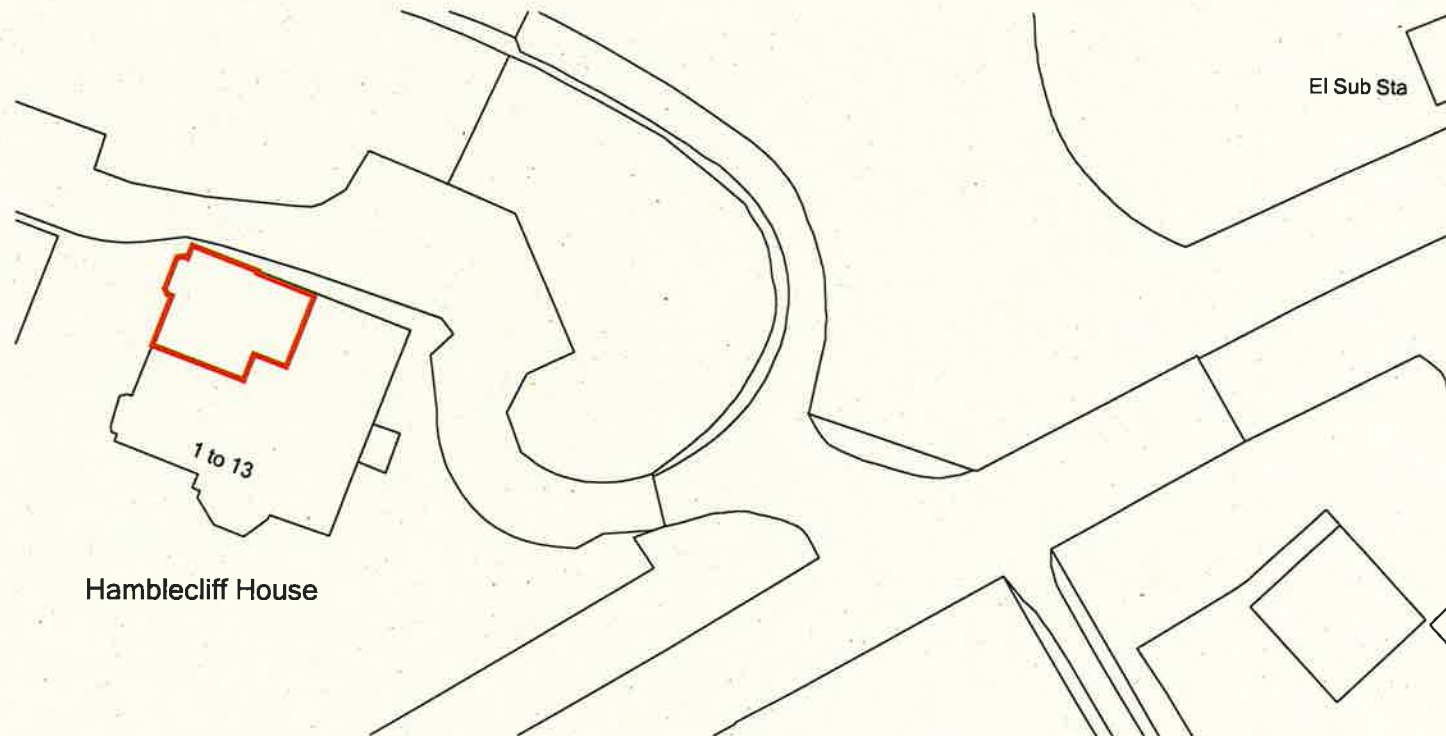
I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them. ☒

Date (cannot be pre-application) 14/08/2019



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1 existing site plan
scale 1:1250 @ A3



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2 existing site plan
scale 1:500 @ A3



planning

this drawing is not for
construction
this drawing is the
property of:
dwell design
unit 6d,
funtley court,
funtley hill,
fareham,
po16 7uy

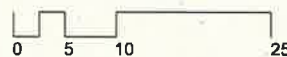
revisions
-/-

scale bars

1:1250



1:500



scale
1:1250/ 1:500
@ A3

date
july 19

job name
11 hamble cliff
house

job number
19018

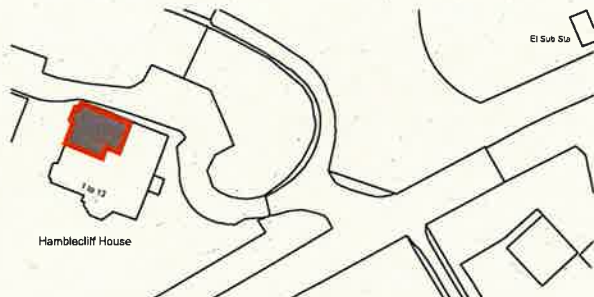
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(pl)01

drawing name
existing site plans

status
planning

revision
-

dwell design
ltd



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1 proposed site plan
scale 1:1250 @ A3



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2 proposed site plan
scale 1:500 @ A3



planning

this drawing is not for construction
this drawing is the property of:
dwell design
unit 8d,
funtley court,
funtley hill,
fareham,
po16 7uy

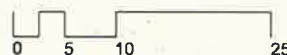
revisions
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scale bars

1:1250



1:500



scale
1:1250/ 1:500
@ A3

date
july 19

job name
11 hamble cliff
house

job number
19018

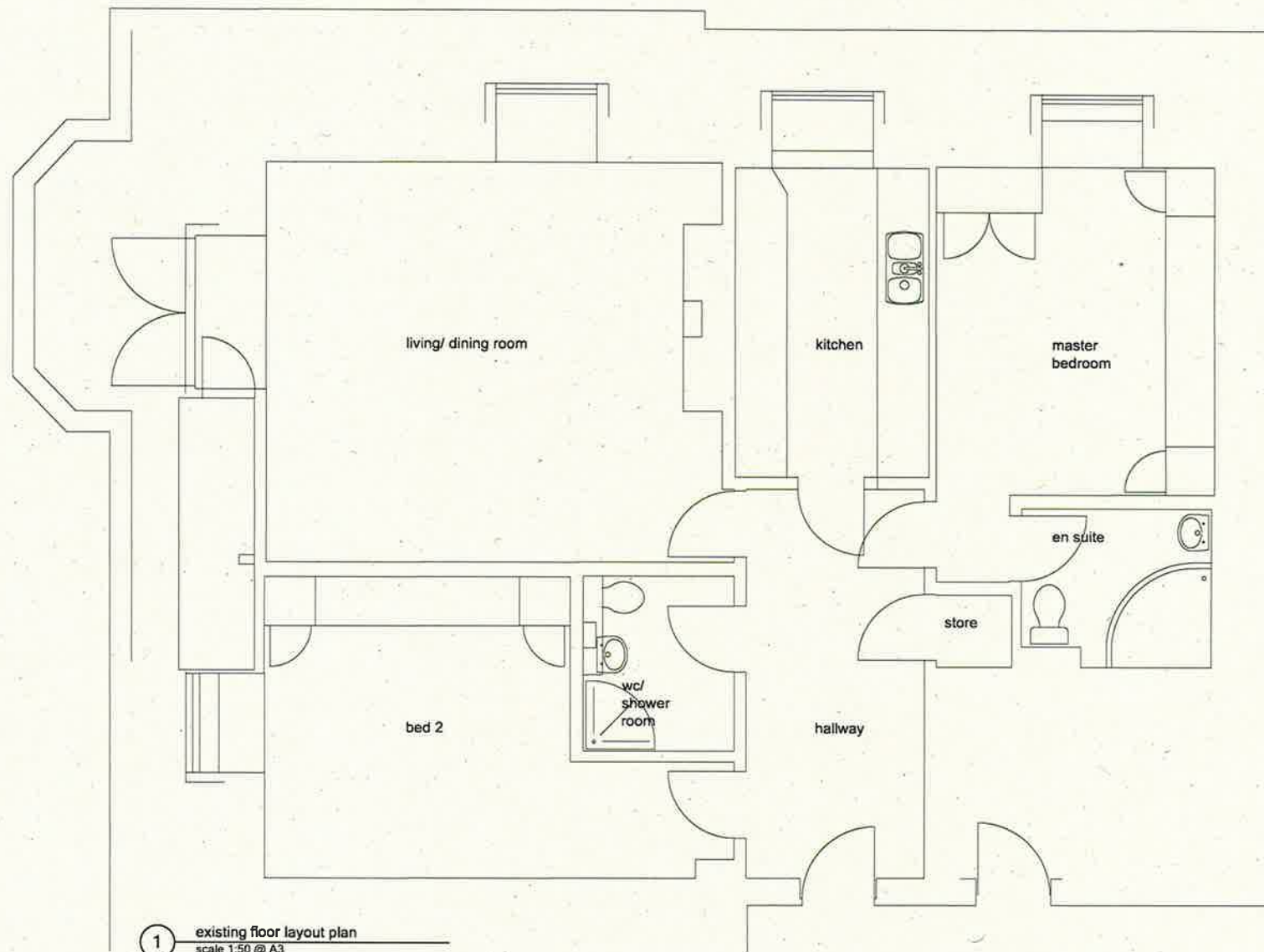
drawing number
(pl)04

drawing name
proposed site plans

status
planning

revision

dwell design
ltd



planning

this drawing is not for
construction
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property of:
dwell design
unit 8d,
funtley court,
funtley hill,
fareham,
po16 7uy

revisions
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scale bars

1:50



scale
1:50 @ A3

date
july 19

job name
11 hamble cliff
house

job number
19018

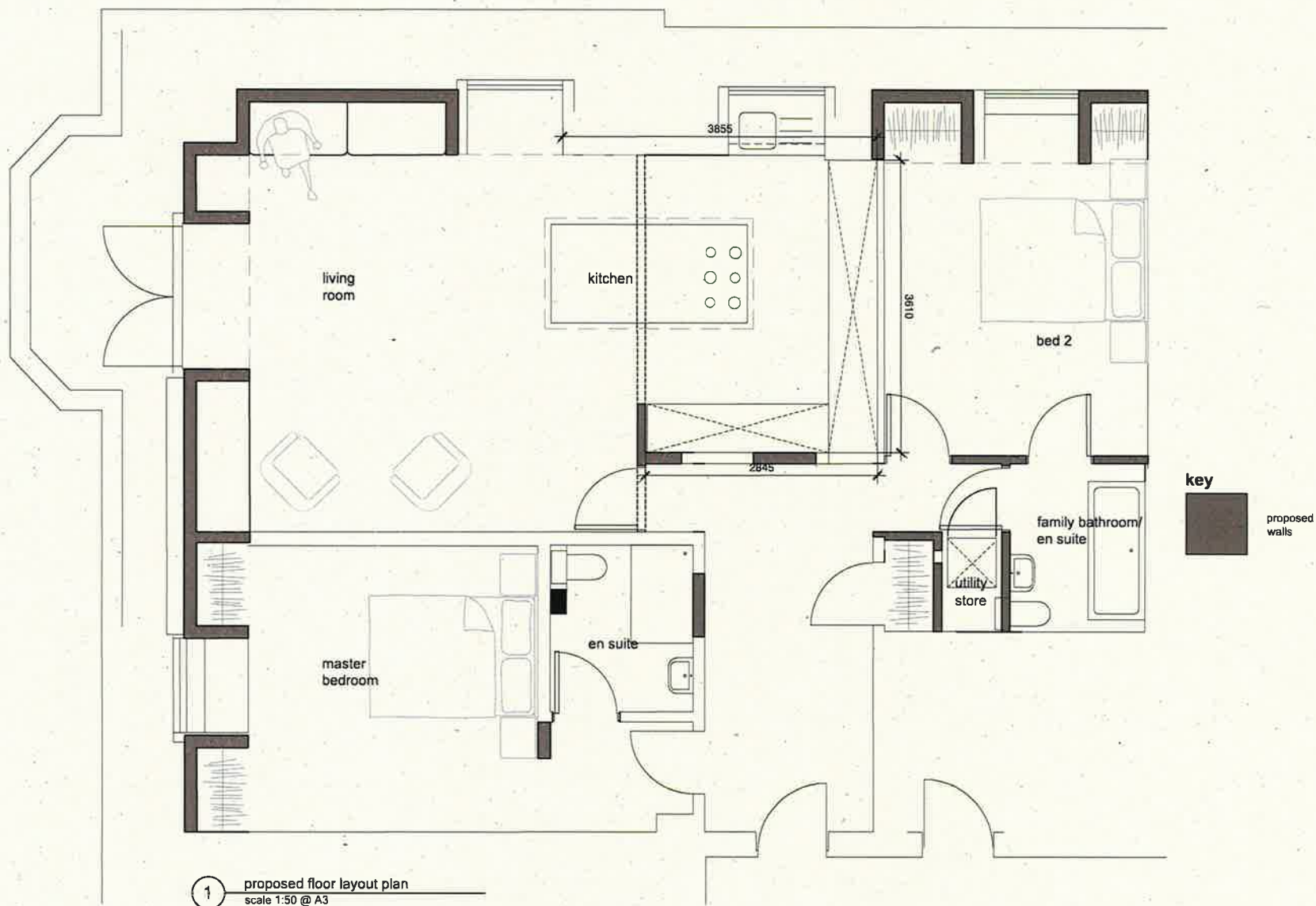
drawing number
(pl)02

drawing name
existing floor plan

status
planning

revision
-

dwell design
ltd



planning

this drawing is not for
construction
this drawing is the
property of:
dwell design
unit 8d,
funtley court,
funtley hill,
fareham,
po16 7uy

revisions

a/12.08.2019/dimensions shown for kitchen area

scale bars

1:50



scale

1:50 @ A3

job name

11 hamble cliff
house

date
july 19

job number
19018

drawing number
(pl)05

drawing name
proposed floor plan

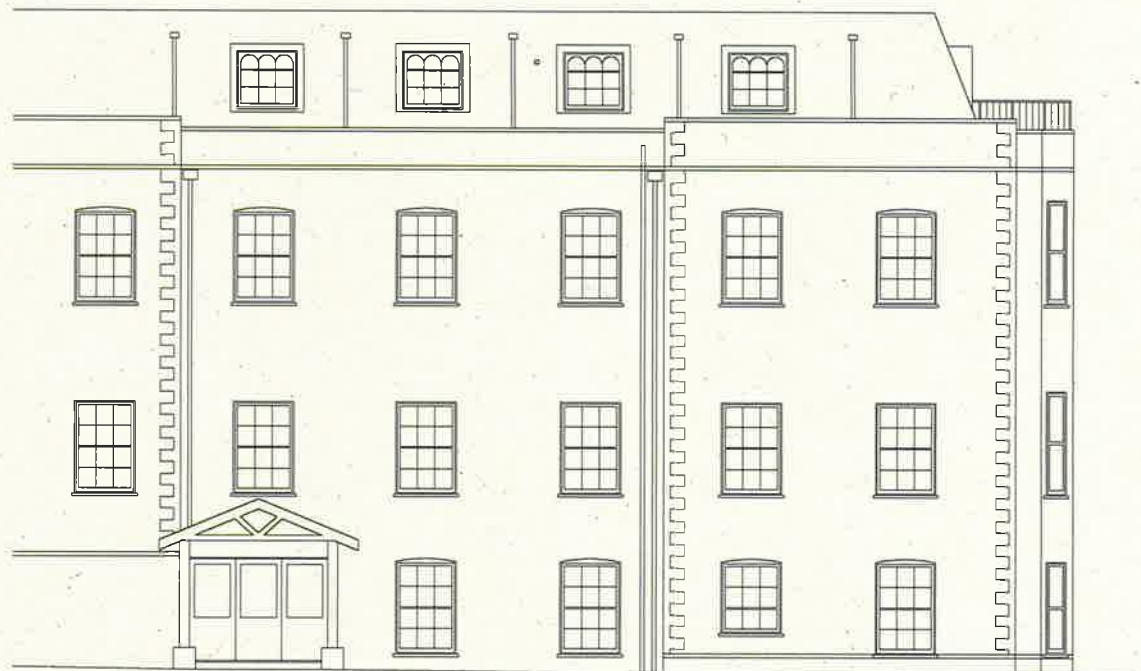
status
planning

revision
a

dwell design
ltd



1 existing northwest elevation
scale 1:100 @ A3



2 existing northeast elevation
scale 1:100 @ A3

planning

this drawing is not for
construction
this drawing is the
property of:
dwell design
unit 8d,
funtley court,
funtley hill,
fareham,
po16 7uy

revisions

scale bars

1:100



scale
1:100 @ A3

date
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house

job number
19018

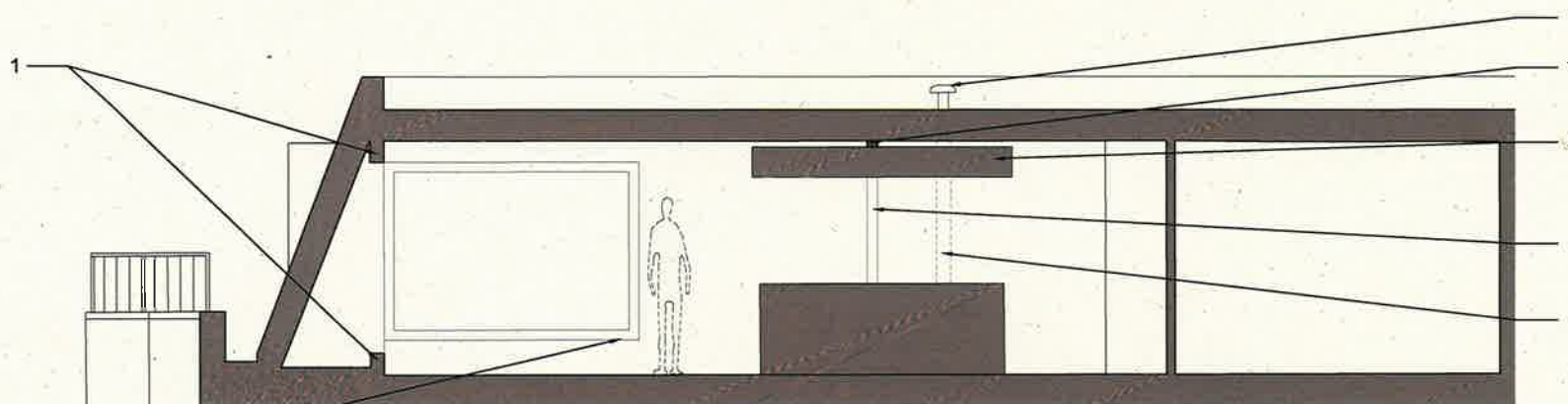
drawing number
(pl)03

drawing name
existing elevations

status
planning

revision
-

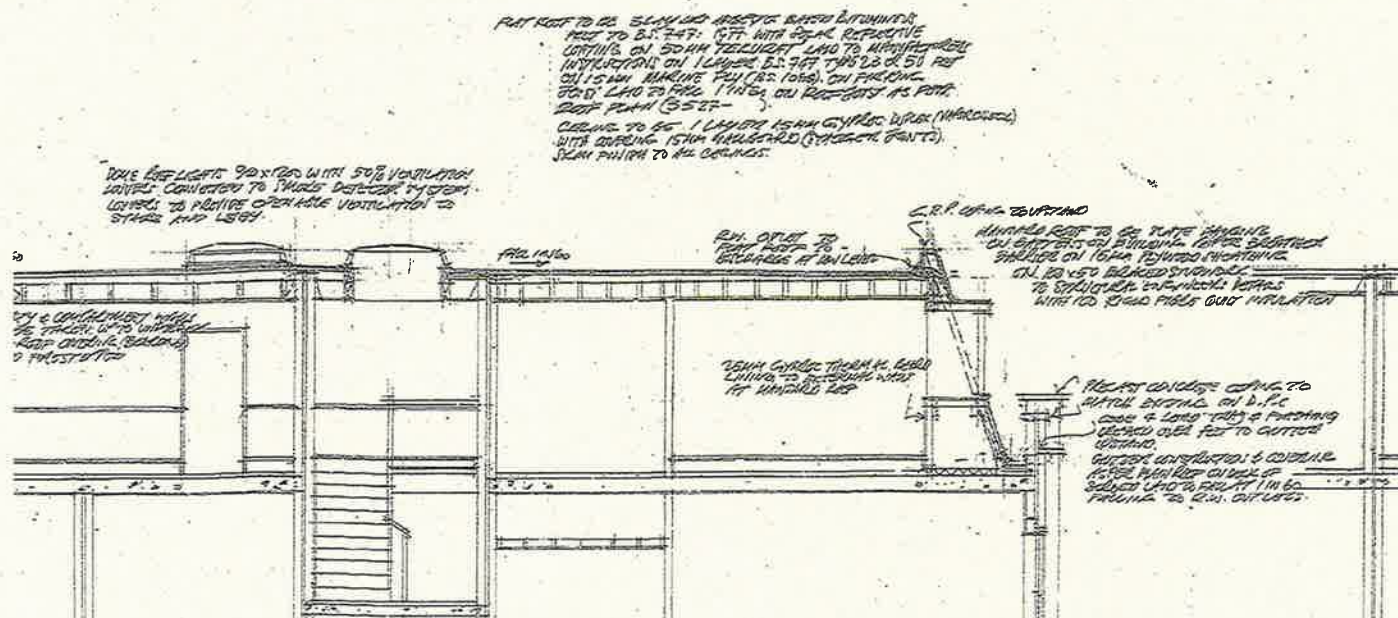
dwell design
ltd



notes:

1. support framing designed by engineer
2. recess with seating or bespoke furniture
3. hidden framing to support roof joists
4. feature lighting and extract
5. support in background
6. previous location of supporting wall
7. location of cowl/ extract hidden from view

1 section drawing
scale 1:50 @ A3



2 original construction section drawing (confirms extent of recess for cowl concealment)
nts @ A3



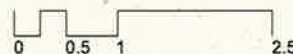
3 image of concealed cowl
nts @ A3

this drawing is not for construction
this drawing is the property of:
dwell design
unit 8d,
funtley court,
funtley hill,
fareham,
po16 7uy

revisions
2/15 08.2019 updated to show manner of concealment of extract cowl

scale bars

1:50



scale
1:50 @ A3

date
july 19

job name
11 hamble cliff
house

job number
19018

drawing number
(pl)06

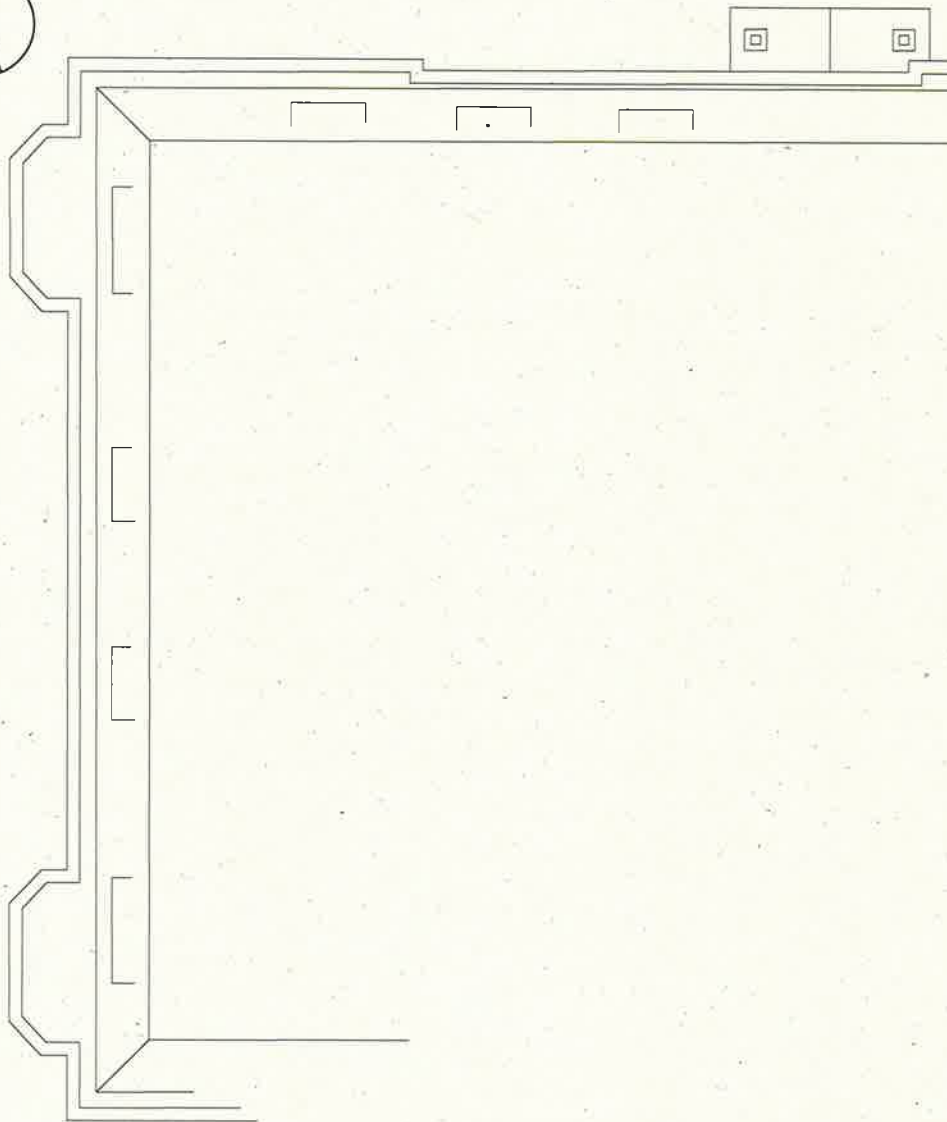
drawing name
section through
revised living space

status
planning

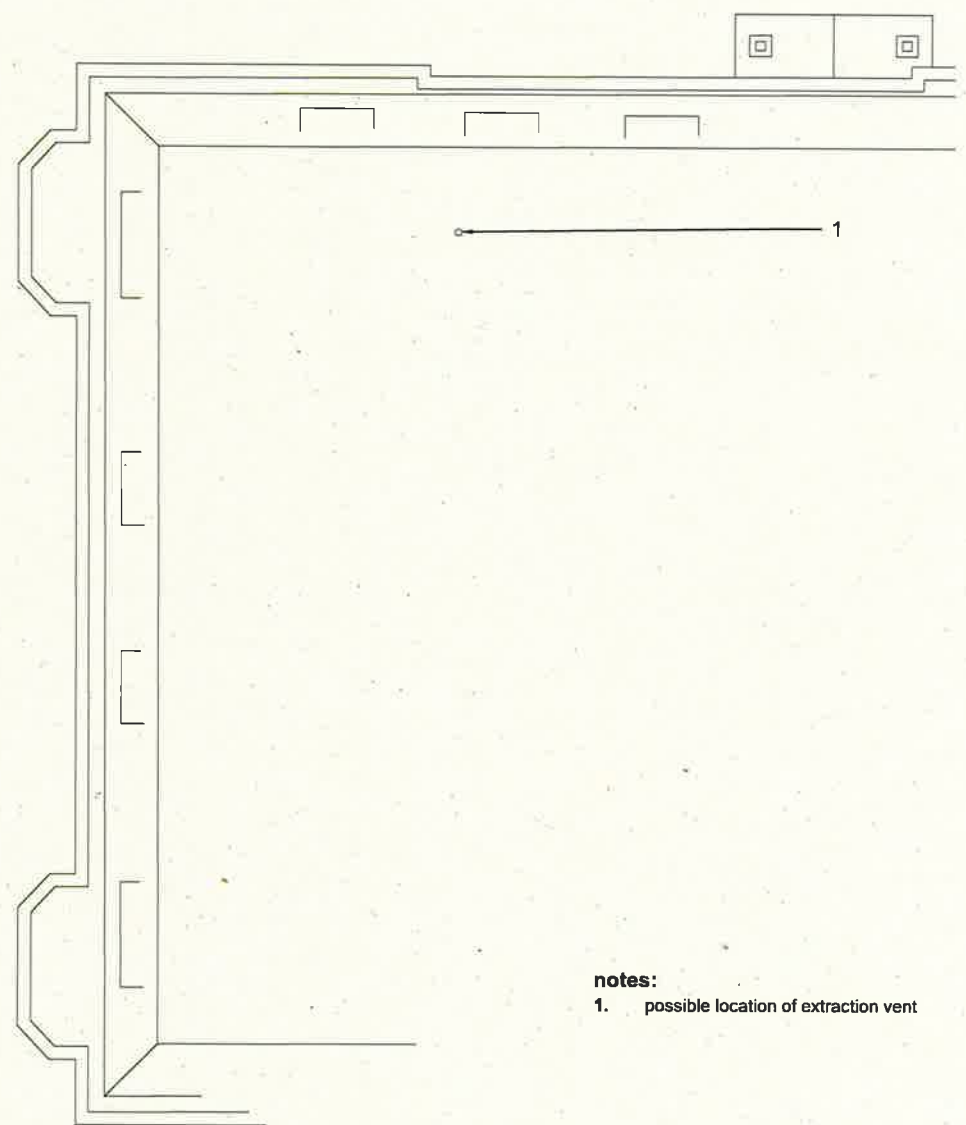
revision
a

dwell design
ltd

planning



1 existing roof plan
scale 1:100 @ A3



2 proposed roof plan
scale 1:100 @ A3

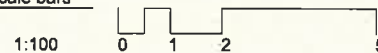
planning

- notes:
1. possible location of extraction vent

this drawing is not for
construction
this drawing is the
property of:
dwell design
unit 8d,
funtley court,
funtley hill,
fareham,
po16 7uy

revisions
++

scale bars



scale
1:100 @ A3

job name
11 hamble cliff
house

date
july 19

job number
19018

drawing number
(pl)07

drawing name
existing and
proposed roof plans

status
planning

revision
-

dwell design
ltd