

**Hamble-le- Rice Parish Council**  
**PLANNING COMMITTEE MEETING**



**Monday 25<sup>th</sup> June 2018 at 7.00pm**  
**at Roy Underdown Pavilion, Baron Road, Hamble**

**AGENDA**

1. Welcome
2. Apologies for absence
3. Declaration of interest and approved dispensations
4. To approve minutes of the Planning Committee Meeting of Tuesday 29<sup>th</sup> May 2018
5. Public Session
6. Policy:
  - a. Local Plan Consultation
  - b. Neighbourhood Plan
  - c. Transport Study
7. Verbal update from Local Area Committee Meeting on the following applications:
  - a. F/17/82001 - Osborne Quarters Police Training Centre, Royal Victoria Country Park, Netley Abbey, Southampton, SO31 4TS
  - b. F/18/82639 - Riverside Caravan Park, Satchell Lane, Hamble, Southampton, SO31 4HR
  - c. F/18/82520 - Abbey Court, School Lane, Hamble, Southampton, SO31 4JD

**APPLICATIONS WITHIN HAMBLE PARISH**

8. **F/18/83196**  
**7 GRANTHAM AVENUE, HAMBLE, SOUTHAMPTON, SO31 4JX**  
Construction of attached three bedroom dwelling with ancillary parking and amenity space.  
**Consultation Ends: 21 June 2018 PC Comments by: 29 June 2018**
9. **H/18/83078**  
**6 OYSTER QUAY, HIGH STREET, HAMBLE, SOUTHAMPTON, SO31 4BQ**  
Extension to an existing balcony.  
**Consultation Ends: 29 June 2018**

10. **F/18/83051**  
**KING AND QUEEN, HIGH STREET, HAMBLE, SOUTHAMPTON, SO31 4HA**  
Erection of three timber pergolas with retractable covers, groundworks and landscaping to existing front forecourt.  
**Consultation Ends: 29 June 2018**
11. **L/18/83137**  
**KING AND QUEEN, HIGH STREET, HAMBLE, SOUTHAMPTON, SO31 4HA**  
Erection of three timber pergolas with retractable covers, groundworks and landscaping to existing front forecourt.  
**Consultation Ends: 06 July 2018**
12. **H/18/83201**  
**76 ASTRAL GARDENS, HAMBLE, SOUTHAMPTON, SO31 4RY**  
TWO STOREY AND SINGLE STOREY REAR EXTENSION.  
**Consultation Ends: 04 July 2018**
13. **H/18/83364**  
**12 FRY CLOSE, HAMBLE, SOUTHAMPTON, SO31 4PF**  
Proposed single storey front extension, garage conversion, alterations to existing garage roof, alterations to fenestration, external flue, and detached summer house to rear.  
**Consultation Ends: 06 July 2018**
14. **H/18/83367**  
**54 ASTRAL GARDENS, HAMBLE, SOUTHAMPTON, SO31 4RY**  
Single storey rear and side extension.  
**Consultation Ends: 05 July 2018**
15. **A/18/83052**  
**PORT HAMBLE MARINA, HAMBLE, SO31 4HH**  
Freestanding advertising panel.  
**Consultation Ends: 29 June 2018**

#### **APPLICATIONS OUTSIDE HAMBLE PARISH**

16. **X/18/83180**  
**LAND TO THE WEST OF HAMBLE LANE, SOUTHAMPTON, SO318BR**  
Amendment to parking distribution.  
**Consultation Ends: 26 June 2018**

#### **DECISIONS**

17. **H/17/81396**  
**37 SATCHELL LANE, HAMBLE, SOUTHAMPTON, SO31 4HF**  
Single and two storey rear extension.  
**DECISION:** 16 May 2018 - Dismissed Delegated Decision

18. **H/18/82724**  
**12 BARTON DRIVE, HAMBLE, SOUTHAMPTON, SO31 4RE**  
Two storey side extension.  
**DECISION:** 15 May 2018 - Permit Delegated Decision
19. **H/18/82749**  
**4 BROAD WAY, HAMBLE, SOUTHAMPTON, SO31 4BT**  
Construction of front porch.  
**DECISION:** 24 May 2018 - Permit Delegated Decision
20. **F/18/82871**  
**GRANDESSA, HAMBLE LANE, BURSLEDON, SOUTHAMPTON, SO31 8GQ**  
EXTENSION TO EXISTING FARM SHOP.  
**DECISION:** 30 May 2018 - Permit Delegated Decision
21. **H/18/82935**  
**69 YORKE WAY, HAMBLE, SOUTHAMPTON, SO31 4LQ**  
Two storey rear extension.  
**DECISION:** 4 Jun 2018 - Permit Delegated Decision

Exempt Business **Exempt Business** - To consider passing a resolution under Section 100A(4) of the Local Government Act 1972 in respect of the following items of business on the grounds that it is likely to involve the disclosure of exempt information as defined in paragraph 3 of Part 1 of Schedule 12A of the Act.

The Schedule 12A categories have been amended and are now subject to the public interest test, in accordance with the Freedom of Information Act 2000. This came into effect on 1st March 2006.

It is considered that the following items are exempt from disclosure and that the public interest in not disclosing the information outweighs the public interest in disclosing the information.

22. **Enforcement Cases**

Dated:

20.06.18.

Signed:



Amanda Jobling,  
Clerk to Hamble Parish Council



## **HAMBLE-LE-RICE PARISH COUNCIL**

### **MINUTES OF THE PLANNING COMMITTEE HELD ON TUESDAY, 29TH MAY 2018 AT THE ROY UNDERDOWN PAVILION, COLLEGE PLAYING FIELDS, BARON ROAD, HAMBLE-LE-RICE AT 7.00 PM**

#### **PRESENT:**

Cllr I Underdown (Chair)  
Cllr J Dajka  
Cllr G Woodall

#### **In Attendance**

Mrs A Jobling – Clerk to the Council  
Mrs J Symes – Assistant Clerk to the Council  
Mrs J Panakis – Minutes Secretary

#### **Welcome**

**49/5/18** Cllr Underdown welcomed all present to the meeting.

#### **Apologies for Absence**

**50/5/18** Apologies for absence were received from Cllr A Thompson and Cllr I James.

#### **Declaration of Interest**

**51/5/18** No declaration of interest was made in relation to the items on the Agenda.

#### **Minutes of the Planning Committee held on 23<sup>rd</sup> April 2018 and Exempt Minutes of the Planning Committee held on 23<sup>rd</sup> April 2018**

**52/5/18** Cllr Dajka proposed, Cllr Underdown seconded and IT WAS RESOLVED that the minutes of the above meetings be accepted as a true record. The Minutes were then signed by the Chairman.

#### **Public Session**

**53/5/18** No members of the public were present at the meeting.

#### **Mineral Extraction Proposals at the Former Hamble Airfield**

**54/5/18** A letter had been received, dated 14<sup>th</sup> May, from Cemex UK Operations Ltd detailing their intention to use the former Hamble Airfield land for minerals extraction under the terms of the Hampshire Minerals and Waste Plan. A meeting with Council members has been agreed prior to the Council meeting on the 11<sup>th</sup> June 2018. The meeting is to introduce the team dealing with the proposed application and to outline the timescales for consultation/engagement.

The Briefing Note from Hampshire County Council's Economy, Transport and Environment team on Hamble Airfield was considered. The Chair also highlighted what the key issues had been for the community when the site was allocated in the W&MP.

Chairman's Signature: ..... Date: .....

The issues included:

- Buffer zone/buffer
- Traffic management
- Noise and dust
- Water courses
- Restoration
- Footpaths and access
- Phasing

The Committee discussed the impact of traffic generally and the need to evidence concerns about congestion, traffic movements and trends. The Travel Plan workshop was now in the diary but there had been no contact from HCC on the other outcomes from the Hamble Lane consultation carried out in autumn 2017. It was agreed that in the light of this the Council should look to commission a survey themselves.

Cllr Dajka proposed, Cllr Woodall seconded, and IT WAS RECOMMENDED TO COUNCIL that the Clerk would investigate commissioning a traffic survey of traffic on Hamble Lane at and below Hound roundabout. The contract value should not exceed £10,000 and should be agreed with the Chairman of the Planning Committee and the Chair of the Council.

CLERK

### Applications from within Hamble Parish

**55/5/18 H/18/82749 4 Broad Way, Hamble-Le-Rice, Southampton SO31 4BT. Construction of front porch.** The Clerk was unable to gain an extension to allow the Planning Committee to consider this application. Details were circulated via e-mail to all members of the Committee asking for comments: none were received. This was noted.

**56/5/18 H/18/82935 69 Yorke Way, Hamble-Le-Rice, Southampton SO31 4LQ. Two storey rear extension.** It was noted that the two storey extension may come under the 45 degree rule in that it would block out sunlight from the neighbouring property. Cllr Underdown proposed, Cllr Woodall seconded, and IT WAS RESOLVED that the Planning Committee had no objections to this extension.

CLERK

**57/5/18 F/18/83067 South Point, South Point 1 and 2, Ensign Way, Hamble-Le-Rice, Southampton SO31 4RF. External canopy to rear access to SP1 building to provide weather protection to deliveries and goods.** Cllr Woodall proposed, Cllr Dajka seconded and IT WAS RESOLVED that the Planning Committee had no objections to this extension.

CLERK

**58/5/18 Permanent TRO, High Street, Hamble. Proposed "No Waiting at Any Time" restrictions extended across the Frontage of the Vicarage and Wallborn House.** There were no objections to this proposal but comments had already been submitted.

CLERK

**59/5/18 F/17/82001 Amended Description: Osborne Quarters Police Training Centre, Royal Victoria Country Park, Netley Abbey, Southampton SO31 4TS.** Conversion of existing ancillary police training buildings (use Class C2) to provide 30 no 2-bed dwellings (use Class C3) with associated elevational alterations, landscaping and car parking with access from Hound Road (amended description). The new application reduced the overall number of units on the site to deal with objections about overdevelopment (Hound Parish Council) and transport issues. Further objections were raised to the included

Chairman's Signature: ..... Date: .....

privacy walls in the garden and the parking area intruding into the central green. The Council restated its objection on the grounds that the site was outside of the development boundary and should not be used for permanent residential use.

Cllr Dajka proposed, Cllr Woodall seconded, and IT WAS RESOLVED that the Planning Committee objected to the revised Planning Application on the grounds above.

**CLERK**

### **Applications Outside Hamble Parish**

**60/5/18 F/18/82871 Grandessa, Hamble Lane, Bursledon, Southampton SO31 8GQ. Extension to existing farm shop.** The consultation period for this application had already ended. The application was noted.

### **Decisions**

Those listed on the agenda were noted.

*The meeting closed at 7.55 pm.*

Chairman's Signature: ..... Date: .....



## Development Management

Eastleigh House, Upper Market Street, Eastleigh, SO50 9YN

Tel: 023 8068 8264 [www.eastleigh.gov.uk](http://www.eastleigh.gov.uk)

Office hours: Mon-Thurs 8.30am - 5pm, Friday 8.30am - 4.30pm



### Application for Planning Permission. Town and Country Planning Act 1990

#### Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

#### 1. Applicant Name, Address and Contact Details

Title:	<input type="text"/>	First Name:	<input type="text" value="NICOLE"/>	Surname:	<input type="text" value="ROBERTS"/>
Company name:	<input type="text"/>				
Street address:	<input type="text" value="7, Grantham Avenue"/>				
	<input type="text"/>				
	<input type="text"/>				
Telephone number:	<input type="text"/>				
Mobile number:	<input type="text"/>				
Town/City:	<input type="text" value="Hamble-Le-Rice"/>				
Fax number:	<input type="text"/>				
Country:	<input type="text"/>				
Email address:	<input type="text"/>				
Postcode:	<input type="text" value="SO31 4JX"/>				

Are you an agent acting on behalf of the applicant? ☒ Yes ☐ No

#### 2. Agent Name, Address and Contact Details

Title:	<input type="text" value="Mr"/>	First Name:	<input type="text" value="Neil"/>	Surname:	<input type="text" value="PALMER"/>
Company name:	<input type="text" value="NA PALMER DESIGN"/>				
Street address:	<input type="text" value="4 blake gardens"/>				
	<input type="text"/>				
Telephone number:	<input type="text" value="07462536030"/>				
Mobile number:	<input type="text"/>				
Town/City:	<input type="text" value="southampton"/>				
Fax number:	<input type="text"/>				
Country:	<input type="text" value="United Kingdom"/>				
Email address:	<input type="text"/>				
Postcode:	<input type="text" value="SO19 1DW"/>				

neil.palmer56@gmail.com

#### 3. Description of the Proposal

Please describe the proposed development including any change of use:

1 NEW 3 BED SEMI DETACHED DWELLING

Has the building, work or change of use already started? ☐ Yes ☒ No

#### 4. Site Address Details

Full postal address of the site (including full postcode where available)

House:	<input type="text" value="7"/>	Suffix:	<input type="text"/>
House name:	<input type="text"/>		
Street address:	<input type="text" value="Grantham Avenue"/>		
	<input type="text"/>		
	<input type="text"/>		
Town/City:	<input type="text" value="Hamble-Le-Rice"/>		
Postcode:	<input type="text" value="SO31 4JX"/>		

Description of location or a grid reference  
(must be completed if postcode is not known):

Easting:	<input type="text" value="447362"/>
Northing:	<input type="text" value="107071"/>

Description:

#### 5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

#### 6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

☒ Yes ☐ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Are there any new public roads to be provided within the site?

☐ Yes ☒ No

Are there any new public rights of way to be provided within or adjacent to the site?

☐ Yes ☒ No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

☐ Yes ☒ No

If you answered Yes to any of the above questions, please show details on your plans/drawings and state the reference of the plan(s)/drawings(s)

#### 7. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

☒ Yes ☐ No

If Yes, please provide details:

Have arrangements been made for the separate storage and collection of recyclable waste?

☒ Yes ☐ No

If Yes, please provide details:

#### 8. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff

Do any of these statements apply to you?

☐ Yes ☒ No

## 8. Authority Employee/Member

(d) related to an elected member

## 9. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

### Roof - description:

Description of *existing* materials and finishes:

Description of *proposed* materials and finishes:

BROWN CONCRETE TILES

### Walls - description:

Description of *existing* materials and finishes:

Description of *proposed* materials and finishes:

RED BRICK

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

☒ Yes ☐ No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

1707-EXISTING PLANS & ELEVATIONS  
1707-SITE PLAN  
1707-FLOOR PLANS  
1707-ELEVATIONS  
DESIGN & ACCESS STATEMENT

## 10. Vehicle Parking

Please provide information on the existing and proposed number of on-site parking spaces:

Type of vehicle	Existing number of spaces	Total proposed (including spaces retained)	Difference in spaces
Cars	0	2	2

## 11. Foul Sewage

Please state how foul sewage is to be disposed of:

Mains sewer ☒ Package treatment plant ☐ Unknown ☐  
Septic tank ☐ Cess pit ☐ Other ☐

Are you proposing to connect to the existing drainage system?

☐ Yes ☐ No ☒ Unknown

## 12. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)

☐ Yes ☒ No

If Yes, you will need to submit an appropriate flood risk assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

☐ Yes ☒ No

Will the proposal increase the flood risk elsewhere?

☐ Yes ☒ No

How will surface water be disposed of?

☒ Sustainable drainage system ☐ Main sewer ☐ Pond/lake

## 12. Assessment of Flood Risk

How will surface water be disposed of?

☐ Soakaway

☐ Existing watercourse

## 13. Biodiversity and Geological Conservation

To assist in answering the following questions refer to the guidance notes for further information on when there is a reasonable likelihood that any important biodiversity or geological conservation features may be present or nearby and whether they are likely to be affected by your proposals.

Having referred to the guidance notes, is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, OR on land adjacent to or near the application site:

a) Protected and priority species

☐ Yes, on the development site

☐ Yes, on land adjacent to or near the proposed development

☒ No

b) Designated sites, important habitats or other biodiversity features

☐ Yes, on the development site

☐ Yes, on land adjacent to or near the proposed development

☒ No

c) Features of geological conservation importance

☐ Yes, on the development site

☐ Yes, on land adjacent to or near the proposed development

☒ No

## 14. Existing Use

Please describe the current use of the site:

RESIDENTIAL GARDEN

Is the site currently vacant?

☐ Yes ☒ No

Does the proposal involve any of the following?

If yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated?

☐ Yes ☒ No

Land where contamination is suspected for all or part of the site?

☐ Yes ☒ No

A proposed use that would be particularly vulnerable to the presence of contamination?

☐ Yes ☒ No

## 15. Trees and Hedges

Are there trees or hedges on the proposed development site?

☐ Yes ☒ No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

☐ Yes ☒ No

If Yes to either or both of the above, you may need to provide a full Tree Survey, at the discretion of your local planning authority. If a Tree Survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

## 16. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or waste?

☐ Yes ☒ No

## 17. Residential Units

Does your proposal include the gain or loss of residential units?

☒ Yes ☐ No

## 17. Residential Units

Market Housing - Proposed					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses	0	0	1	0	0
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Market Housing Total

1

Social Rented Housing - Proposed					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Social Housing Total

Intermediate Housing - Proposed					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Intermediate Housing Total

Key Worker Housing - Proposed					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Key Worker Housing Total

Market Housing - Existing					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Market Housing Total

Social Rented Housing - Existing					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Social Housing Total

Intermediate Housing - Existing					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Intermediate Housing Total

Key Worker Housing - Existing					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Key Worker Housing Total

Overall Residential Unit Totals	
Total proposed residential units	1
Total existing residential units	

18. All Types of Development: Non-residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace? ☐ Yes ☒ No

19. Employment

No Employment details were submitted for this application

20. Hours of Opening

No Hours of Opening details were submitted for this application

21. Site Area

What is the site area?

22. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

Is the proposal for a waste management development? ☐ Yes ☒ No

If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make clear what information it requires on its website.

23. Hazardous Substances

Is any hazardous waste involved in the proposal? ☐ Yes ☒ No

A. Toxic substances	Amount held on site
<input type="text"/>	<input type="text"/> Tonne(s)
B. Highly reactive/explosive substances	Amount held on site
<input type="text"/>	<input type="text"/> Tonne(s)
C. Flammable substances (unless specifically named in parts A and B)	Amount held on site
<input type="text"/>	<input type="text"/> Tonne(s)

24. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? ☒ Yes ☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☐ The agent ☒ The applicant ☐ Other person

25. Certificates (Certificate A)

Certificate of Ownership - Certificate A

25. Certificates (Certificate A)

Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding (*"agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act*).

Title:	<input type="text" value="Mr"/>	First name:	<input type="text" value="Neil"/>	Surname:	<input type="text" value="PALMER"/>
Person role:	<input type="text" value="AGENT"/>	Declaration date:	<input type="text" value="14/05/2018"/>	<input checked="" type="checkbox"/>	Declaration made

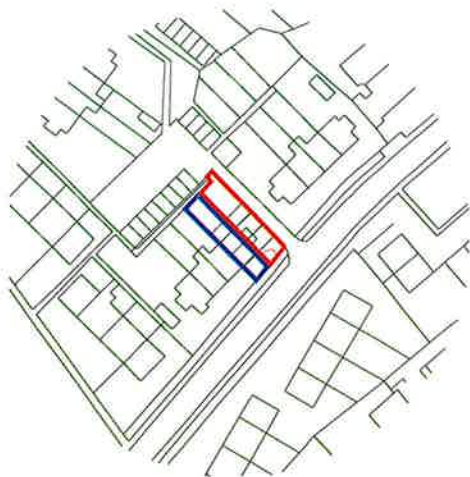
26. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/ drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.	<input checked="" type="checkbox"/>	Date	<input type="text" value="14/05/2018"/>
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1. This drawing is the copyright of **NA PALMER DESIGNS**. It may not be copied, altered or reproduced in any way whatsoever without the written authority of the artist.
2. Dimensions to be checked on site prior to commencing any work. Any discrepancies should be reported to the project architect immediately.
3. Listed dimensions must be assumed approximate and checked on site if in doubt ask.

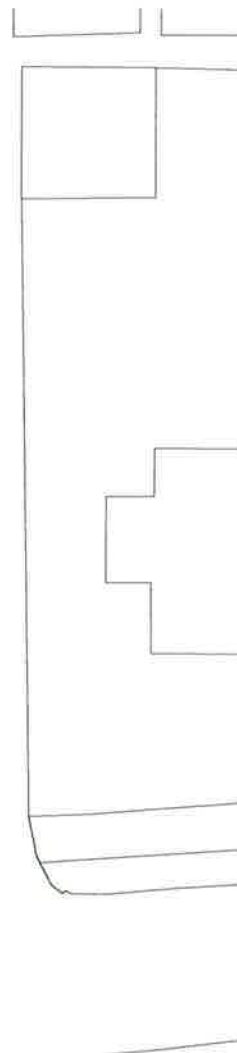


**LOCATION PLAN**  
**scale 1:1250**

no.	description	date	by	to
	drawing status: <b>PLANNING</b>			

**NA  
PALMER  
DESIGNS**

project	PROPOSED RESIDENTIAL DEVELOPMENT 7 GRANTHAM AVENUE HAMBLE SO31 4JW
drawing	PROPOSED SITE PLAN AND LOCATION PLAN
drawn	scale
NAP	1:200 & 1:1250@A3
drawing No.	1707-PL-01
date	APR 18
checked	revised
	A



**SITE PLAN**  
**scale 1:200**





# **DESIGN, ACCESS & SUSTAINABILITY STATEMENT**

**PROPOSED 1 No. 3 BEDROOM HOUSE**

**AT**

**LAND TO SIDE OF  
7 GRANTHAM AVENUE  
HAMBLE  
SO31 4JW**

REV A ISSUED FOR PLANNING

12-05-18 NAP

## 1.0 Introduction

This statement has been prepared by way of application to, and in support of the scheme design, prepared for a new planning application for this site. It has been compiled to support the application as a legislated requirement.

## 2.0 The Existing Site

- Location

Land to side of 7 Grantham avenue, Hamble SO31 4JW



- Site History / Current Planning Situation

There has been 3 previous planning applications on this site

**F/13/72015** – Construction of 1no. 2 storey attached 3 bed dwelling, following demolition of outbuildings  
Type of Application: Full planning Decision: Withdrawn By Applicant Decision Date: 13/03/2013

**F/06/56294 -** Erection of 1no. shed & 1no. garden store, following demolition of existing shed  
Type of Application: Full planning Decision: Permit Decision Date: 26/05/2006

**F/05/55148 -** Retrospective: Retention of detached log store/bin & cycle store/shed, Type of Application: Full planning  
Decision: Refuse Planning Permission Decision Date: 12/01/2006

- Surrounding Built Environment / Character / Character Analysis

The site lies within the settlement of Hamble, which is located in the Borough of Eastleigh, to the south of Bursledon and the west of The River Hamble.

The immediate environment is an exclusively residential zone, with the surrounding properties typical of traditional local housing in its varied forms. The generic architectural theme is one of modest appearance but does still not offer specific design parameters to follow. The buildings appear to have been constructed throughout varied periods with evidence of predominantly semi detached and terraced two storey houses of varying styles and a number of bungalows. However, this styling in its own form has an eclectic suburban feel and is visually pleasing in an uncomplicated and understated manner.

The use of Red and Buff brick is evident as wall finishes to the surrounding dwellings with concrete tiles applied to roofs. All properties on Grantham avenue have Gabled roofs, the adjoining road Coach road have predominantly hipped roofs

- Natural Environment

The application site comprises flat ground from North to South and is garden area, an existing out building extension.

There are no trees and some hedging shrubs on the site with some grass.

- Access

The existing access is from Grantham Avenue.

- Public Transport and Local Amenity

The site lies within 100m of the Coronation Parade local shopping area and within 500m of the local schools. Major employment sites at GE Aviation (150m) and the Ensign Park industrial estate along Southampton Water (350m) also fall within walking distance there.

There are major bus routes along Hamble Lane leading to the old centre of Hamble, Netley, Southampton and beyond. A mainline railway station lies approximately 1km to the north.

In general terms all major facilities are local, and the site may be described as very accessible. This in turn reduces the dependence locally on private cars and reduces the need for numerous parking spaces.

### **3.0 Design Proposals**

- Building Design

It is proposed to construct 1 No. 3 Bedroom Semi-Detached dwelling within the body of the application site with onsite parking, cycle storage and bin storage for the new dwelling.

An uncomplicated suburban style is proposed utilizing red facing brick to the external walls, with a clad panel to the front to match the existing houses within the direct vicinity. Grey coloured door and windows with a gabled roof with concrete tile to the roof to match existing roofs.

- Mass, Scale and Spacing

The placement of the dwelling on the site next to the 7 Grantham Avenue constitutes a continuation of the style and purpose of buildings within the immediate vicinity whilst establishing a consistent block plan format. This ensures the building line is maintained as illustrated in the accompanying plans.

The main roof pitch reflects those evident to the dwellings on Grantham Avenue. The mass and scale of the building in general pursues continuity with the surrounding suburban grain and ensures a discreet yet attractive addition to the vicinity.

- Soft Landscaping

The proposal includes the introduction of new shrub / hedging and trees to the entire development and grassed areas of the gardens. The boundaries will remain unaffected as best possible and renewed with new close boarded fencing.

Landscaping and boundary reinforcing has been indicated and has been considered throughout the design process to help define private spaces.

The landscaping shown is indicative only, however should the application be successful a fully detailed landscaping scheme will be provided indicating species, TPO's, planting schedule, spacing's and maintenance schedule allowing for seasonal under planting etc.

**This we would like to be dealt with as a condition to the approval.**

Public open Space and Amenities spaces have not been provided within the development.

- Parking and Access

Parking is to the front of the new dwelling to provide 2 bays for the dwelling (by means of stepping the ground floor in to allow for parking) and on street parking for visitors.

The development shall be in full accordance with disabled persons use and access ( Part M Building Regulations)

- Refuse storage and collection

Provision has been given for refuse bins in the rear gardens of dwelling.

- Drainage

The site lies within Flood Zone 1, the low probability Flood Zone. It is proposed that waste-water would be discharged via a connection to the local sewer and surface water would be to a new rain water harvesting system.

- Energy Conservation

The proposal will be constructed of high quality materials, where appropriate from renewable sources, and will be well insulated to accord with current stringent legislation and will be fitted with efficient heating systems and zoned controls so as to minimize carbon emissions.

All dwellings should be fitted with 'A' rated appliances, energy efficient light bulbs/fittings and dual flush/water saving cisterns. Any external light fittings where possible should be solar powered.

The developer will consider the use of energy sources for heating and power such as Combined Heat and Power schemes.

- Site Waste Management

It is envisaged that upon commencement of work, the main contractor responsible for carrying out construction, will prepare a more detailed report on how site waste should be managed, to include identifying, and giving due consideration to the following:

- Who will be responsible for resource management?
- What types of waste will be generated
- How the waste will be managed, will it be reduced, reused or recycled?
- Which contractors will be used to ensure the waste is correctly recycled or disposed of responsibly and legally
- How the quantity of the waste generated will be measured
- Ensure the on-site material storage and waste handling is well organised, and avoid over ordering of materials
- Implement a recording system of all waste disposed of or transferred through a signed Waste Transfer Note

- Biodiversity

It is not assumed any biodiversity issues will arise on this site. See Biodiversity Checklist with this application.

- Access to Site and Building

Existing vehicular access to the site is as previously described

Emergency vehicles will be able to gain access to all the buildings on the site. Emergency egress from each dwelling will be via multiple external doors

on the ground floor, and via means of escape windows to first floor habitable rooms.

The building will be designed / compliant to accord with the Building Regulations Approved Document M in respect of disabled access and movement around the buildings. A suitable hard paved area will be provided from the parking area to the front of buildings, with a ramped access and level threshold leading to the principle access. Internal circulation will be fully compliant, with door widths, corridors and toilet facilities within the prescribed limits.

The site is located within walking distance of the main bus routes and local shopping areas offering a good range of shops and amenities. The site is also within proximity of a choice of schools (pre-school, primary and secondary) and leisure facilities.

- Crime Prevention

The proposal has been designed to provide a level of natural surveillance to the area immediately surrounding the site, without the loss of privacy to adjacent properties. Principle windows will afford unobstructed views of the private areas, highway/footpath, car parking and access drive.

Windows, dwelling external doors and garage doors should all accord with the minimum standard set out in 'New Homes-Secure by Design'.

Appropriate low energy lighting to car parking areas (to BS 5489) should be provided, as well as the main entrance doors etc.

#### **4.0 Planning Policy Considerations**

The site is located within the jurisdiction of Eastleigh Borough Council and as such the development plan for the site consists of the Core Strategy and saved policies of the Eastleigh Borough Local Plan Review, in addition to policy guidance set out by central Government. The Local Plan Proposals Map shows the site falls within the designated built up area.

The scheme makes best use of urban land, which is a key aim of national policy.

Similarly, the scheme accords with the Councils own policies of making best use of under used urban land in sustainable locations, in a way which respects the existing form of development and the amenities of the neighbouring properties.

## 5.0

### **Conclusion**

The proposed development will provide a new house for the client and allow additional parking on site for the development and will make a positive contribution towards Eastleigh's significant housing need.

The proposed development has, whilst meeting the density requirements set out in the planning policy guidelines, supported and complied with the visual quality and amenity aspects of the site location required by The Local Plan and Residential Guide. The mass and form match that of the surrounding buildings and combined with the topography / streetscape minimal impact along the street scene is made and a positive addition to the area is gained.

The architectural style will complement the existing buildings in the vicinity without competing with them, and with the use of similar traditional materials and building details ensure the new work blends comfortably into the site and surrounding area.

The scheme would comfortably bring several benefits. It would –

- Make more efficient use of land for housing.
- Remove a bland area which makes poor use of the land and forms no positive contribution to the area.
- Enhance the appearance and character of the area
- Provide for a modern, attractive, efficient and safe housing scheme with its own internal pedestrian access.

In accordance with application protocol we have undertaken an extensive amount of work and investigation to enable us to submit to the council a meaningful working scheme for a planning application on this site.

**6.0 Photographs**



**7 Grantham Avenue**



**View down Grantham Avenue**



**1-7 Grantham Avenue**



**Bungalows opposite No. 7 Grantham Avenue**



**Coach Road**



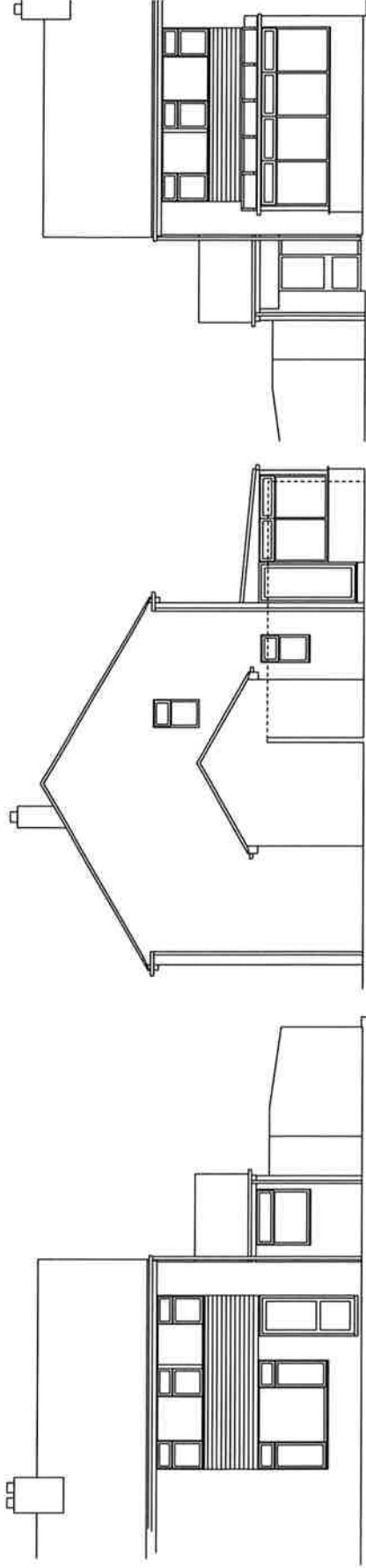
**Rear of No. 7 Grantham Avenue from garages behind**



**Rear of No.7 Grantham Avenue**

NOTES

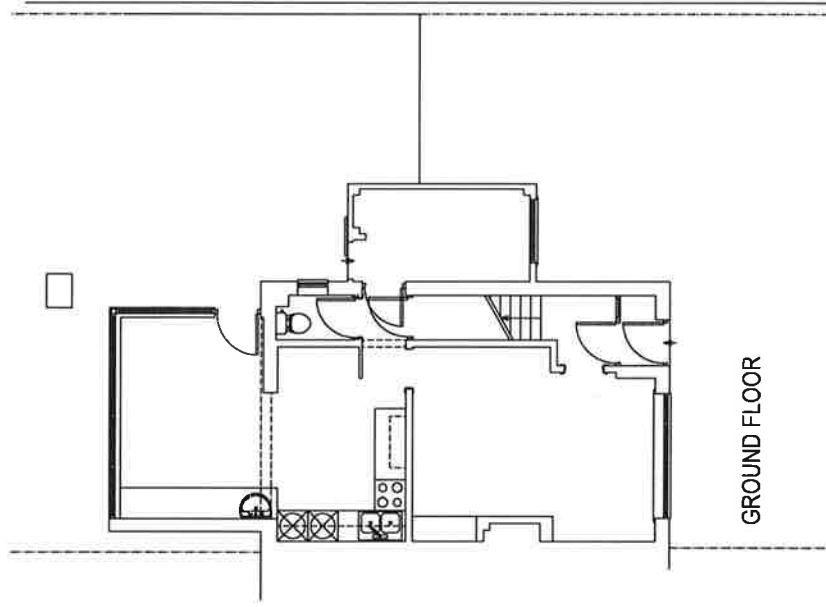
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4. If in doubt ask.



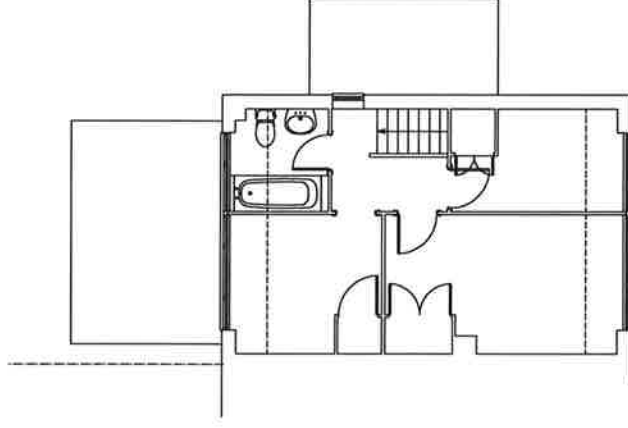
FRONT ELEVATION

SIDE ELEVATION

REAR ELEVATION



GROUND FLOOR



FIRST FLOOR

NA PALMER DESIGNS  
PLANNING  
drawing status: 1/2/20

NA  
PALMER  
DESIGNS

client:

project:  
PROPOSED RESIDENTIAL DEVELOPMENT  
7 GLENHAM AVENUE  
HAMBLE  
SO31 4JW

drawing:

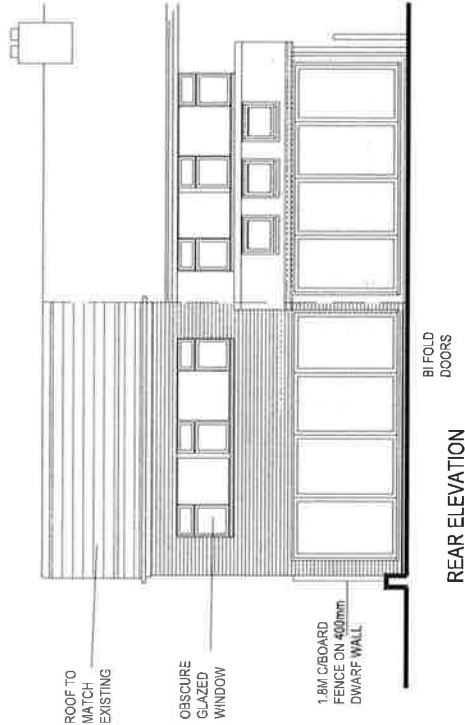
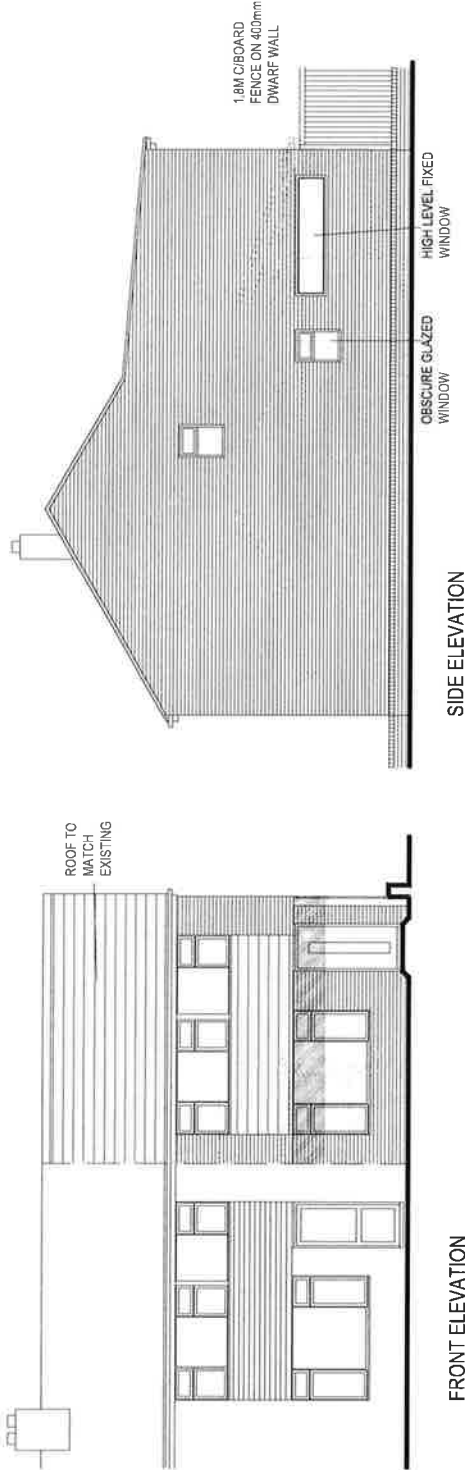
EXISTING  
FLOOR PLANS  
AND ELEVATIONS

sheet	scale	checked	date
NAP	1:100@A3		APR 18
drawing no.	1707-PL-02	revision	A



NOTES

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NA PALMER DESIGNS  
drawing status: PLANNING

NA  
PALMER  
DESIGNS

client:

project:  
PROPOSED RESIDENTIAL DEVELOPMENT  
77 KENTHAM AVENUE  
HAYLE  
SO31 4JW

drawing:

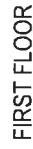
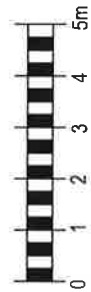
PROPOSED  
ELEVATIONS

drawn:	scale:	checked:	date:
NAP	1:100@A3		APR 18
drawing No:	1707-PL-04	revision:	A



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2. Dimensions to be checked on site prior to commencing any work. Any discrepancies should be reported to the project architect immediately.
3. Load calculations must be submitted, approved and checked on site.
4. If in doubt ask.



**NA  
PALMER  
DESIGNS**

[illegible]



**Development Management**

Eastleigh House, Upper Market Street, Eastleigh, SO50 9YN

Tel: 023 8068 8264 [www.eastleigh.gov.uk](http://www.eastleigh.gov.uk)

Office hours: Mon-Thurs 8.30am - 5pm, Friday 8.30am - 4.30pm

**Application for Planning Permission and for relevant demolition of an unlisted building in a conservation area  
Town and Country Planning Act 1990****Publication of applications on planning authority websites.**

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website.

If you require any further clarification, please contact the Authority's planning department.

**1. Applicant Name, Address and Contact Details**

Title:	<input type="text" value="Mrs"/>	First Name:	<input type="text" value="Sandra"/>	Surname:	<input type="text" value="Veryard"/>
Company name:	<input type="text"/>				
Street address:	<input type="text" value="6, Oyster Quay"/>				
	<input type="text" value="High Street"/>				
	<input type="text"/>				
Telephone number:	<input type="text"/>				
Mobile number:	<input type="text"/>				
Town/City:	<input type="text" value="Hamble-Le-Rice"/>				
Fax number:	<input type="text"/>				
Country:	<input type="text"/>				
Email address:	<input type="text"/>				
Postcode:	<input type="text" value="SO31 4BQ"/>				
Are you an agent acting on behalf of the applicant? <input checked="" type="radio"/> Yes <input type="radio"/> No					

**2. Agent Name, Address and Contact Details**

Title:	<input type="text" value="Mr"/>	First Name:	<input type="text" value="Philip"/>	Surname:	<input type="text" value="Davis"/>
Company name:	<input type="text" value="CFW Architects"/>				
Street address:	<input type="text" value="Bank Chambers"/>				
	<input type="text" value="69 High Street"/>				
	<input type="text" value="69 High Street"/>				
Telephone number:	<input type="text" value="01962862234"/>				
Mobile number:	<input type="text"/>				
Town/City:	<input type="text" value="Winchester"/>				
Fax number:	<input type="text"/>				
Country:	<input type="text" value="United Kingdom"/>				
Email address:	<input type="text" value="philip.davis@cfw-architects.com"/>				
Postcode:	<input type="text" value="SO23 9DA"/>				

**3. Description of the Proposal**

Please provide a description of the proposal, including details of the proposed demolition:

Has the building, work or change of use already started? ☐ Yes ☒ No

#### 4. Site Address Details

Full postal address of the site (including full postcode where available)

Description:

House:  Suffix:

House name:

Street address:

Town/City:

Postcode:

Description of location or a grid reference  
(must be completed if postcode is not known):

Easting:

Northing:

#### 5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☒ Yes ☐ No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title:  First name:  Surname:

Reference:

Date (DD/MM/YYYY):  (Must be pre-application submission)

Details of the pre-application advice received:

Initial advice was given in an e-mail dated 09.03.2018 immediately following the site visit and proposals amended accordingly.  
Further advice was then given in an email dated 16.04.2018 following receipt of a worked up detail of the proposed balcony. This advice includes: "subject to the specification for the under-tray being worked up, it is a clean design that allows the existing building to continue to be read as defining the street frontage and therefore preserves the character of the Conservation area."

#### 6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Are there any new public roads to be provided within the site?

☐ Yes ☒ No

Are there any new public rights of way to be provided within or adjacent to the site?

☐ Yes ☒ No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

☐ Yes ☒ No

#### 7. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

☐ Yes ☒ No

Have arrangements been made for the separate storage and collection of recyclable waste?

☐ Yes ☒ No

## 8. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

☐ Yes ☒ No

## 9. Explanation for Proposed Demolition Work

Why is it necessary to demolish all or part of the building(s) and/or structure(s)?

A small amount of demolition to an existing balcony wall is needed in order to create a more spacious outdoor area.

## 10. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

### Walls - description:

Description of *existing* materials and finishes:

Masonry wall with stone capping

Description of *proposed* materials and finishes:

None

### OTHER - description:

Type of other material: **Balustrade**

Description of *existing* materials and finishes:

Metal railings with glass and timber handrail

Description of *proposed* materials and finishes:

Glass balustrade and stainless steel fascia

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

☒ Yes ☐ No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

AP001 Location Plan  
AP002 Block Plan  
AP005 Existing Plan  
AP100 Proposed Plan  
AD500 Balcony Detail  
Design and Access Statement

## 11. Vehicle Parking

No Vehicle Parking details were submitted for this application

## 12. Foul Sewage

Please state how foul sewage is to be disposed of:

Mains sewer

☐

Package treatment plant

☐

Unknown

☒

Septic tank

☐

Cess pit

☐

Other

☐

Are you proposing to connect to the existing drainage system?

☐ Yes ☒ No ☐ Unknown

## 13. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)

☒ Yes ☐ No

### 13. Assessment of Flood Risk

If Yes, you will need to submit an appropriate flood risk assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

☒ Yes ☐ No

Will the proposal increase the flood risk elsewhere?

☐ Yes ☒ No

How will surface water be disposed of?

☒ Sustainable drainage system

☐ Main sewer

☐ Pond/lake

☐ Soakaway

☐ Existing watercourse

### 14. Biodiversity and Geological Conservation

To assist in answering the following questions refer to the guidance notes for further information on when there is a reasonable likelihood that any important biodiversity or geological conservation features may be present or nearby and whether they are likely to be affected by your proposals.

Having referred to the guidance notes, is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, OR on land adjacent to or near the application site:

a) Protected and priority species

☐ Yes, on the development site

☐ Yes, on land adjacent to or near the proposed development

☒ No

b) Designated sites, important habitats or other biodiversity features

☐ Yes, on the development site

☐ Yes, on land adjacent to or near the proposed development

☒ No

c) Features of geological conservation importance

☐ Yes, on the development site

☐ Yes, on land adjacent to or near the proposed development

☒ No

### 15. Existing Use

Please describe the current use of the site:

External first floor balcony.

Is the site currently vacant?

☐ Yes ☒ No

Does the proposal involve any of the following?

If yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated?

☐ Yes ☒ No

Land where contamination is suspected for all or part of the site?

☐ Yes ☒ No

A proposed use that would be particularly vulnerable to the presence of contamination?

☐ Yes ☒ No

### 16. Trees and Hedges

Are there trees or hedges on the proposed development site?

☐ Yes ☒ No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

☐ Yes ☒ No

If Yes to either or both of the above, you may need to provide a full Tree Survey, at the discretion of your local planning authority. If a Tree Survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

## 17. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or waste?

☐ Yes ☐ No

## 18. Residential Units

Does your proposal include the gain or loss of residential units?

☐ Yes ☐ No

Market Housing - Proposed					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Market Housing Total

Social Rented Housing - Proposed					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Social Housing Total

Intermediate Housing - Proposed					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Intermediate Housing Total

Key Worker Housing - Proposed					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Market Housing - Existing					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Market Housing Total

Social Rented Housing - Existing					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Social Housing Total

Intermediate Housing - Existing					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Intermediate Housing Total

Key Worker Housing - Existing					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

## 18. Residential Units

Proposed Key Worker Housing Total

Existing Key Worker Housing Total

## 19. All Types of Development: Non-residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

☐ Yes ☒ No

## 20. Employment

No Employment details were submitted for this application

## 21. Hours of Opening

No Hours of Opening details were submitted for this application

## 22. Site Area

What is the site area?

150.00

sq.metres

## 23. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

Is the proposal for a waste management development?

☐ Yes ☒ No

If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make clear what information it requires on its website.

## 24. Hazardous Substances

Is any hazardous waste involved in the proposal?

☐ Yes ☒ No

### A. Toxic substances

Amount held on site

Tonne(s)

### B. Highly reactive/explosive substances

Amount held on site

Tonne(s)

### C. Flammable substances (unless specifically named in parts A and B)

Amount held on site

Tonne(s)

## 25. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes ☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

## 25. Site Visit

☒ The agent   ☐ The applicant   ☐ Other person

## 26. Certificates (Certificate A)

### Certificate of Ownership - Certificate A

#### Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding (*"agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act*).

Title:  First name:  Surname:

Person role:  Declaration date:  ☒ Declaration made

## 27. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.



Date







Design, Heritage and Access Statement  
Planning Application  
6 Oyster Quay, Hamble-Le-Rice, SO31 4BQ



April 2018

## Introduction

This Design Statement has been prepared by CFW Architects to accompany a Planning Application to extend the existing first floor balcony of 6 Oyster Quay, Hamble.



*Figure 1 – Location Plan (NTS)*

## Context & Location

The application site is 6 Oyster Quay, High Street, Hamble, in the borough of Eastleigh. The proposal is on the East facing elevation overlooking Riverbank and with views across the harbour.

The existing house is typical of dwellings within the immediate vicinity, being a Terraced, 4 Storey Townhouse domestic property constructed of brick externally, with a slate roof.

Similar properties within the area have much greater external space and seating areas in comparison to 6 Oyster Quay. This property is currently very restricted, having only a small terrace at street level with no privacy or sense of separation from the road.





Fig 2 Existing balustrade, balcony & ground floor terrace  
(No.6 Oyster Quay)



Neighbouring balconies in the surrounding area

## Existing Building

The application site 6 Oyster Quay, has a lower ground floor area, which houses the kitchen and an access to the rear elevation, street level. This access was altered under application C/16/78611.

Mrs Veryard is a widowed senior citizen, who is over 70 years of age. Her wish is to increase the area of the existing balcony, in order to allow more seating space at the front of the house and to make better use of the stunning views over the river Hamble.

The applicant considers the current balcony to lack the space required for a comfortable seating area, which currently not fit for purpose. The balcony is accessed from the main living space of the house. The change from a metal railing balustrade to clear glass will enhance the view out from both the balcony space and from inside the main living room.

A nearby domestic property has had a similar style much but larger extension added to their balcony.



Fig 3 Neighbouring glass balustrade

(No.1 Oyster Quay)



## Relevant Planning History

C/16/78611 Alterations to rear elevation door and access.

Pre-Application Q/18/82564 and site visit by Andrew Amery on 08/03/2018. The proposals were discussed and revised to fully address the officers comments. The amended proposals were resubmitted and supported by the letter concluding that the proposal is considered to preserve the character of the Conservation area and is sympathetic to the design, character, form and materials used on the existing house.

## Design Proposal

The design has been based on the following principles:

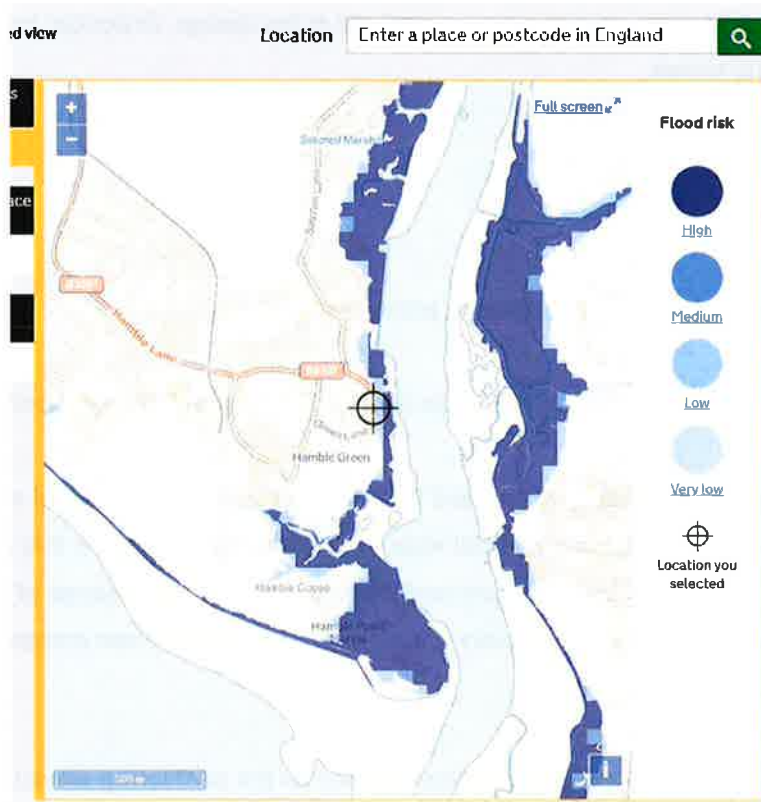
- Developed in consultation with Andrew Amery of Eastleigh Borough Council on 08/03/2018
- To ensure that materials in colour and form respect and reflect the local surrounding development, using the same visual style of neighboring buildings in this elevation.
- The existing building has been purposefully designed to avoid a sense of uniformity and give the appearance of evolutionary growth over time, and the new proposed balcony will add to this effect.

The proposal is to extend the existing first floor balcony on the east facing elevation. The demolition of an existing balcony and side walls will be required. The balcony extension will be cantilevered with a glass balustrade clamped at the lower edge. It will be a drained solid balcony, with a satin stainless steel fascia and a soffit to the underside in white T & G board. As the balconies of the neighboring buildings have similar fascias and soffits, this is an appropriate finish to have a coherent aesthetic with the surroundings.

The proposal has been designed to respect the form of the existing building. This is a clean design, allowing the existing building to continue to be read as defining the street frontage and therefore preserving the character of the Conservation Area.

## Flood

The environment agency website [www.environment-agency.gov.uk](http://www.environment-agency.gov.uk) highlights that the area is at HIGH RISK from flooding, however the proposal will not be affected by this risk as it is at first floor level. There will be no increase in impermeable area and the drain will be connected to the existing.



## Environment and Sustainability

This design will not affect the local ecology and will have no change to the buildings environmental impact.

## Access

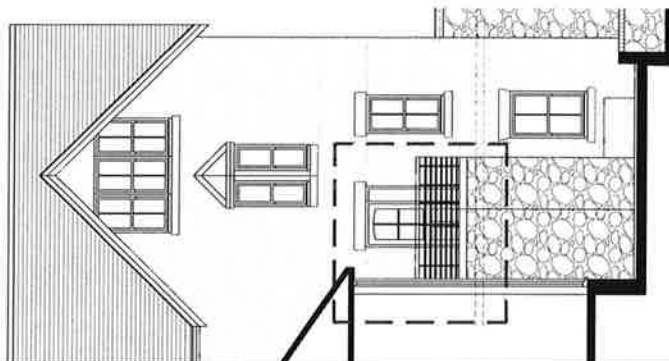
The proposal does not affect access to the property or for any other resident, or member of the community but will greatly assist the applicant in her daily living.

## **Conclusion**

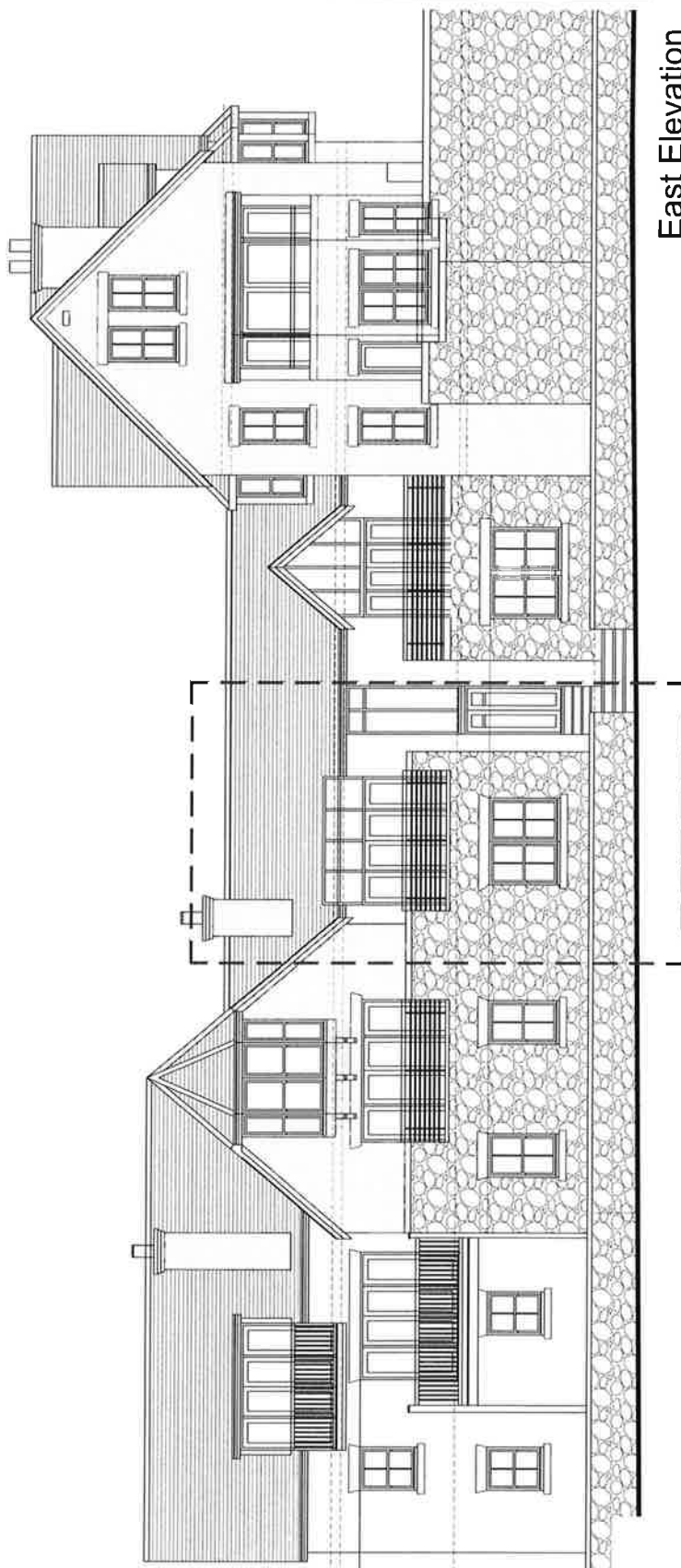
This modest proposal will greatly enhance the usability and amenity of this dwelling by increasing the external living space and allowing better access to the primary view across the river. The proposal will sit comfortably in the existing street elevation and will preserve the context of the conservation area.



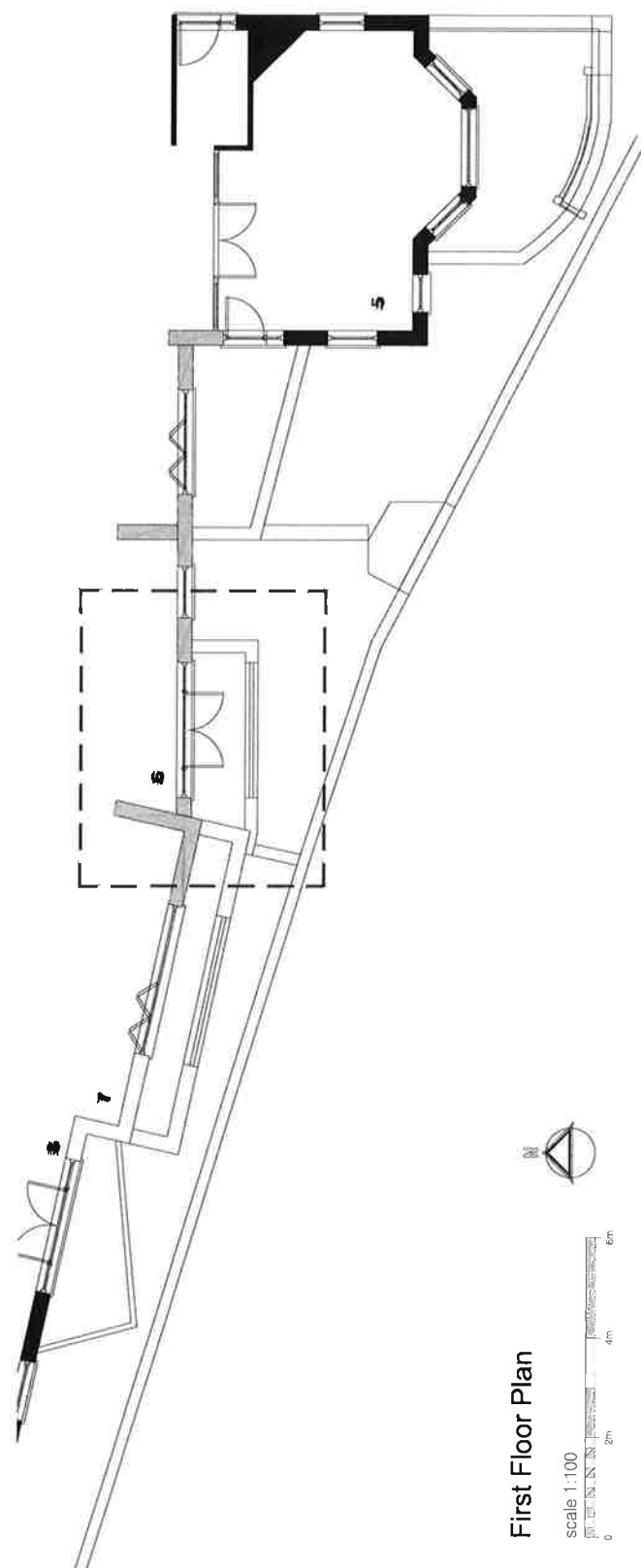
Our first round of advertising for women in management positions only and our second round of advertising for women who were newly hired.



### South Elevation



## East Elevation



## First Floor Plan

scale 1:100



## Planning



Dr. Philip Barrett  
Wellshire Limited

Min Sandra Vervand

Yana Chaykovskaya  
55 High Street  
Westchester  
Larchmont, NY 10593  
914.261.5906

of Quarter Outlets

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## Development Management

Eastleigh House, Upper Market Street, Eastleigh, SO50 9YN

Tel: 023 8068 8264 [www.eastleigh.gov.uk](http://www.eastleigh.gov.uk)

Office hours: Mon-Thurs 8.30am - 5pm, Friday 8.30am - 4.30pm



### Application for Planning Permission and listed building consent for alterations, extension or demolition of a listed building.

#### Town and Country Planning Act 1990 Planning (Listed Buildings and Conservation Areas) Act 1990

#### Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website.

If you require any further clarification, please contact the Authority's planning department.

#### 1. Applicant Name, Address and Contact Details

Title:	Ms	First Name:	Janet	Surname:	Bradley
Company name:					
Street address:	King And Queen				
	High Street				
Town/City:	Hamble-Le-Rice				
Country:					
Postcode:	SO31 4HA				
Are you an agent acting on behalf of the applicant?				<input type="radio"/> Yes	<input checked="" type="radio"/> No

#### 2. Agent Name, Address and Contact Details

No Agent details were submitted for this application

#### 3. Description of Proposed Works

Please describe details of the proposed development or works including details of proposals to alter, extend or demolish the listed building(s):

Proposed "New Landscaping/and associated Groundworks" to existing front forecourt of The King & Queen, Hamble.

Has the development or work(s) already started? ☐ Yes ☒ No

#### 4. Site Address Details

Full postal address of the site (including full postcode where available)

House:	<input type="text"/>	Suffix:	<input type="text"/>
House name:	<input type="text" value="King And Queen"/>		
Street address:	<input type="text" value="High Street"/>		
	<input type="text"/>		
	<input type="text"/>		
Town/City:	<input type="text" value="Hamble-Le-Rice"/>		
Postcode:	<input type="text" value="SO31 4HA"/>		

Description:

Description of location or a grid reference  
(must be completed if postcode is not known):

Easting:	<input type="text" value="448410"/>
Northing:	<input type="text" value="106788"/>

#### 5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☒ Yes ☐ No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title:	<input type="text" value="Mr"/>	First name:	<input type="text" value="Tim"/>	Surname:	<input type="text" value="Dyer"/>
--------	---------------------------------	-------------	----------------------------------	----------	-----------------------------------

Reference:

Date (DD/MM/YYYY):  (Must be pre-application submission)

Details of the pre-application advice received:

Need to include cross section drawing within the planning application.  
Proposed new picket fence to be under 1m in height.  
Seek tree advice concerning the two existing TPO trees located within courtyard from Matthew Strand EBC.

#### 6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Are there any new public roads to be provided within the site?

☐ Yes ☒ No

Are there any new public rights of way to be provided within or adjacent to the site?

☐ Yes ☒ No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

☐ Yes ☒ No

#### 7. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

☐ Yes ☒ No

Have arrangements been made for the separate storage and collection of recyclable waste?

☒ Yes ☐ No

If Yes, please provide details:

Existing "3 No. standard Euro Bins" designated for recycled pub waste, stored at rear of property, in designated space, emptied per existing contract by local authority.

## 8. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

☐ Yes ☒ No

## 9. Demolition

Does the proposal include total or partial demolition of a listed building?

☐ Yes ☒ No

## 10. Listed building alterations

Do the proposed works include alterations to a listed building?

☐ Yes ☒ No

## 11. Listed Building Grading

If known, what is the grading of the listed building (as stated in the list of Buildings of Special Architectural or Historical Interest)?

☐ Don't know ☐ Grade I ☐ Grade II\* ☒ Grade II

Is it an ecclesiastical building?

☐ Don't know ☐ Yes ☒ No

## 12. Immunity from Listing

Has a Certificate of Immunity from listing been sought in respect of this building?

☐ Yes ☒ No

## 13. Vehicle Parking

No Vehicle Parking details were submitted for this application

## 14. Materials

Please provide a description of existing and proposed materials and finishes to be used in the build (demolition excluded):

### Boundary Treatments - description:

Description of *existing* materials and finishes:

Existing cast iron Post & Rail traditional boundary fence to right of way of property.  
To front selection of timber planters 500mm high.

Description of *proposed* materials and finishes:

New Timber Picket Fence 900mm high, paint finish, with gates to match.  
New purpose made side gate, 900mm high to enclose the forecourt from right of way access to RH/S of property.  
Paint Black existing cast iron Post & Rail traditional boundary fence to right of way of property.

### Floors - description:

Description of *existing* materials and finishes:

Existing "Gravel", covering up old car park tarmac throughout front forecourt.

Description of *proposed* materials and finishes:

Proposed new work: New Work scrape off existing gravel to expose existing tarmac beneath and remove.  
Form "New 2m wide level ramp path" from High Street pavement, leading directly to front entrance of The King & Queen, for disabled access.  
Form "New Split Level" terraces as shown on plan to achieve level ground for external table settings.  
Proposed "Ground Materials": mixture of Flagstone areas interspersed with gravel infill and cobble sets to match existing cobbled High Street.  
New "Stone Kerbs" to define split level edges.  
(Surface water directed to existing open gully drain)

### Rainwater goods - description:

## 14. Materials

Description of *existing* materials and finishes:

Existing: Surface water directed to open gully drain

Description of *proposed* materials and finishes:

Proposed: No change to existing surface water drainage.

### Roof covering - description:

Description of *existing* materials and finishes:

Existing canvas & metal garden parasols used to protect diners from bird droppings from trees. This is a common customer's complaint with pigeons roosting within trees above diners.

Description of *proposed* materials and finishes:

Proposed "New Purpose-made timber Pergola with retractable top canvas ( See Photo as attached).  
Location of Pergola RH/S beneath existing trees shown on proposed plan.

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

☒ Yes ☐ No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

01. Plan showing existing forecourt of King & Queen Pub
02. Proposed Plan showing new ground Landscaping works and associated Furniture & Boundary Fence.
03. Design "Access Statement"

## 15. Foul Sewage

Please state how foul sewage is to be disposed of:

Mains sewer	<input checked="" type="checkbox"/>	Package treatment plant	<input type="checkbox"/>	Unknown	<input type="checkbox"/>
Septic tank	<input type="checkbox"/>	Cess pit	<input type="checkbox"/>	Other	<input type="checkbox"/>

Are you proposing to connect to the existing drainage system?

☐ Yes ☒ No ☐ Unknown

## 16. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)

☐ Yes ☒ No

If Yes, you will need to submit an appropriate flood risk assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

☐ Yes ☒ No

Will the proposal increase the flood risk elsewhere?

☐ Yes ☒ No

How will surface water be disposed of?

<input type="checkbox"/> Sustainable drainage system	<input type="checkbox"/> Main sewer	<input type="checkbox"/> Pond/lake
<input type="checkbox"/> Soakaway	<input checked="" type="checkbox"/> Existing watercourse	

## 17. Biodiversity and Geological Conservation

To assist in answering the following questions refer to the guidance notes for further information on when there is a reasonable likelihood that any important biodiversity or geological conservation features may be present or nearby and whether they are likely to be affected by your proposals.

Having referred to the guidance notes, is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, OR on land adjacent to or near the application site:

a) Protected and priority species

☐ Yes, on the development site ☐ Yes, on land adjacent to or near the proposed development ☒ No

b) Designated sites, important habitats or other biodiversity features

## 17. Biodiversity and Geological Conservation

☐ Yes, on the development site ☐ Yes, on land adjacent to or near the proposed development ☒ No

c) Features of geological conservation importance

☐ Yes, on the development site ☐ Yes, on land adjacent to or near the proposed development ☒ No

## 18. Existing Use

Please describe the current use of the site:

Current Use: As external seating area for seasonal Eating & Drinking, weather permitting.

Is the site currently vacant? ☐ Yes ☒ No

Does the proposal involve any of the following?

If yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated? ☐ Yes ☒ No

Land where contamination is suspected for all or part of the site? ☐ Yes ☒ No

A proposed use that would be particularly vulnerable to the presence of contamination? ☐ Yes ☒ No

## 19. Trees and Hedges

Are there trees or hedges on the proposed development site? ☒ Yes ☐ No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character? ☒ Yes ☐ No

If Yes to either or both of the above, you may need to provide a full Tree Survey, at the discretion of your local planning authority. If a Tree Survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

## 20. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or waste? ☐ Yes ☒ No

## 21. Residential Units

Does your proposal include the gain or loss of residential units? ☐ Yes ☒ No

Market Housing - Proposed

	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Market Housing Total

Market Housing - Existing

	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Market Housing Total

## 21. Residential Units

Social Rented Housing - Proposed					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Social Housing Total

Intermediate Housing - Proposed					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Intermediate Housing Total

Key Worker Housing - Proposed					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Key Worker Housing Total

Social Rented Housing - Existing					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Social Housing Total

Intermediate Housing - Existing					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Intermediate Housing Total

Key Worker Housing - Existing					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Key Worker Housing Total

## 22. All Types of Development: Non-residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

☐ Yes ☒ No

## 23. Employment

No Employment details were submitted for this application

## 24. Hours of Opening

No Hours of Opening details were submitted for this application

## 25. Site Area

What is the site area?

170.00

sq.metres

## 26. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

Is the proposal for a waste management development?

☐ Yes ☒ No

If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make clear what information it requires on its website.

## 27. Hazardous Substances

Is any hazardous waste involved in the proposal?

☐ Yes ☒ No

### A. Toxic substances

Amount held on site

Tonne(s)

### B. Highly reactive/explosive substances

Amount held on site

Tonne(s)

### C. Flammable substances (unless specifically named in parts A and B)

Amount held on site

Tonne(s)

## 28. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes ☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☐ The agent ☒ The applicant ☐ Other person

## 29. Certificates (Certificate B)

### Certificate of Ownership - Certificate B

Certificates under Article 14 – Town and Country Planning (Development Management Procedure) (England) Order 2015 & Regulation 6 - Planning (Listed Buildings and Conservation Areas) Regulations 1990

I certify/ The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) and/or agricultural tenant ("agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990) of any part of the land or building to which this application relates.

Owner/Agricultural Tenant	Date notice served
Name: Janet Bradley	25/04/2018
Number: Suffix: House name: The King & Queen	
Street: High Street	
Locality: Hamble	
Town: Southampton	
Postcode: SO31 4HA	

### 29. Certificates (Certificate B)

Title:  First name:  Surname:

Person role:  Declaration date:  ☒ Declaration made

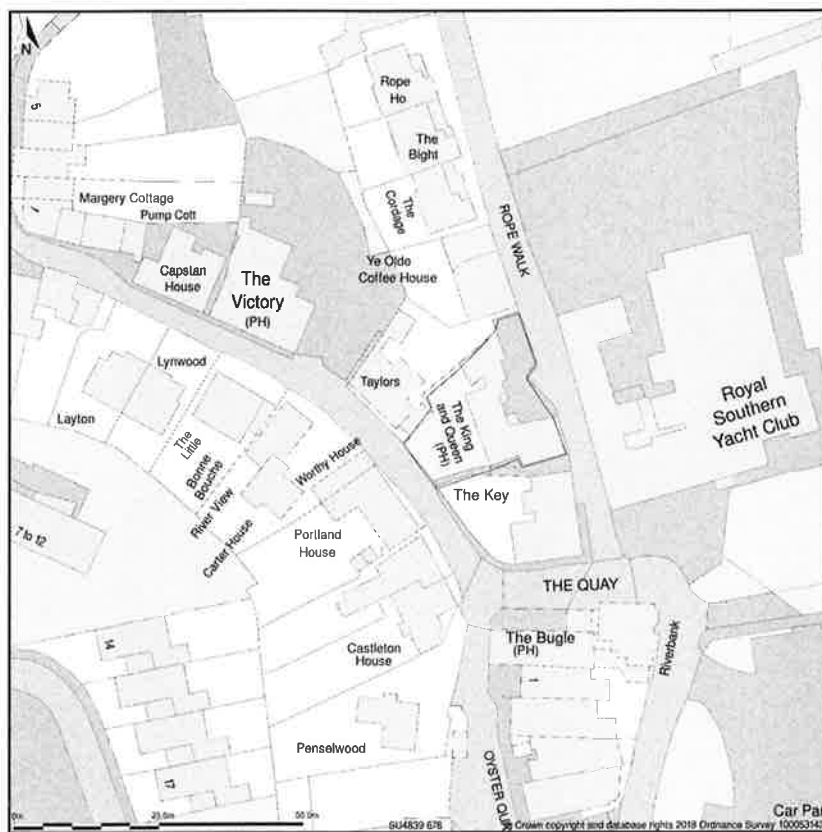
### 30. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.



Date

The King And Queen, King And Queen, High Street, Hamble-le-ric, Hampshire, SO31 4HA



Site Plan shows area bounded by: 448327.35, 106714.5, 448468.77, 106855.92 (at a scale of 1:1250), OSGridRef: SU4839 678. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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# DESIGN & ACCESS STATEMENT

The King & Queen, High Street, Hamble, Southampton

Client: Janet Bradley [ Applicant / Leaseholder & Occupier]  
Site Address: The king & Queen Public House, High Street, Hamble

## **The Property:**

The 'King & Queen' was built in circa 1850 as a public house to service Hamble residents and local fishermen. It is a 'Grade 2 Listed' building, located within the Hamble Conservation Area. The exterior elevation of the premises has not changed since being originally built.

The Applicant, Janet Bradley and leaseholder, has occupied the premises for the past 11 years with the support of the landlords 'El Partnerships' who have been delighted with the improvements which have been carried out during the applicant's tenancy.

The dedicated work by staff and applicant has resulted in several awards over recent years including being selected as one of the '100 Best Pubs in England 2018' and continues to attract custom from all over the world.

## **Existing forecourt:**

The premises benefits by an open forecourt, [matching the width of the building], and adjoins the public pavement and cobbled High Street, an area of 160 sq m.

[ This forecourt can seat a maximum of 80 customers and is the only outdoor area available, weather permitting].

[ A concrete hardstand located at the rear of the property is used solely for staff parking, trade deliveries and refuse bins storage benefitting from good access via Rope Walk].

## **Existing Trees:**

Two mature trees are located within the forecourt and are subject to TPO's.

## **'Right of Way' passage**

An attractive pedestrian 'Right of Way' passage with steps, linking Hamble High Street to Rope Walk at the rear, is located on the RH/S of the forecourt.

## **Sloping ground**

Unfortunately, the existing forecourt has a sloping ground level which drops 450mm at an angle towards the building. This gradient has caused several problems. Customers complain following chairs tipping, spilt drinks and food. It is our main aim to remedy this problem in the proposed 'New Landscape Works' covered by this application and thereby improving customer satisfaction.

## **Existing parasols**

Two large canvas parasols have been temporally installed beneath the trees located on the RH/S of the forecourt to shield the customers from pigeon droppings which foul both customers and tables. Customers have had to move to the opposite side of the forecourt to avoid this unfortunate hazard. It is our aim to also resolve this problem.

## **Proposed “New Landscaping & Associated Works’**

“The King & Queen Forecourt” [The proposed ‘New Works’ do not affect the existing building].

### **The Aim of the new works:**

To firstly, address the inherent existing faults mentioned above and to enhance this unique, attractive forecourt area.

### **‘Four New Level Ground Terraces’:**

The proposed drawing [01], shows the formation of ‘Four New Level Ground Terraces’, sited on both sides of the central entrance path. The new terraces are for exterior table seating either side of a new 1.5m wide ramp which links the public pavement to the front entrance, allowing for direct access to the building.

### **New Pergolas:**

Three purpose-made timber constructed pergolas, [which feature ‘retractable canvas covers’ to roof only], are located on the RH/S, between the new ramp and the boundary post & rail fence located under the mature trees to shield customers from over-head bird dropping. The pergolas are anchored to the ground with metal anchoring points, [ similar to timber fencing]. The timber will be treated to blend. [See manufacturer’s Photo No:1]

### **New Landscaping Materials:**

New Landscaping proposal shows the installation of concrete slabs, [ Look-a-like riven, York stone slabs) in designated areas to suit the table arrangements on the new level terraces, with infill of gravel and cobble sets, [ matching the cobbled High Street finishes]. [See Photos 02 &03]

This variety of textures and materials will break-up and soften the landscaping.

The proposed drawing [01] shows a stepped terrace, sited midway in the courtyard. This step is formed using traditional timber sleepers.

### **New Front Boundary Picket fence**

A proposed new front boundary fence to be installed, to enclose the courtyard from the road and offer improved security control by restricting unwanted customers and those using the courtyard as a thoroughfare. A new timber picket fence, [ height of 900mm], installed either side of the front entrance, behind which are located purpose-made ‘long timer planters’ containing a variety of planting to create an effect of a pretty, colourful cottage garden.

### **Existing traditional ‘Cast-Iron post & rail boundary fence**

A’ traditional cast-iron post and rail boundary fence, [ located on the RH/Side], separating the Courtyard from the right of way. This passage is an attractive feature and the applicant will undertake the painting of these rails in suitable black paint to restore and protect it.

[This boundary fence would normally be the responsibility of EBC or the Parish Council].

**New metal side gate:**

At the end of the 'Post & Rail' fencing is an existing gap of 1200mm, [ between the public passage and the King & Queen forecourt. This gap has been used on occasion as an unwanted short-cut through the external tabled area.

It is proposed to install a matching black painted 'metal gate' as a preventive to unwanted use and achieving added security.

No other changes are proposed to any boundary bricked walls or fences.

**Contactors "Method of work":**

[Special landscape contractors will be commissioned to undertake the proposed work on site].

A mini digger will be used to scrape the surface and remove the underlying tarmac which originally formed an off-road car parking area. The spoil will be taken off site. [ No skips will be placed on the High Street].

The contactor will be made aware of the need to safeguard the root system of the two trees. The existing 'pea-gravel' will be washed and reinstated where required.

**Tree protection:**

At present the root system of the two mature trees is unknown and maybe at a depth well below the minor extraction required. However, the landscaper will be instructed to excavate carefully around the tree base area manually, like an archaeologist, to ensure the roots are not damaged or exposed. Should any root be endangered a containment bed will be placed around it.

It's the applicant intention to safeguard the trees which add much character to the garden and are of amenity value. All the new work will be undertaken within the boundary area of the forecourt.

Provision will be made to store all materials on site on the existing concrete hardstand located at the rear of the property, so not to cause any disturbance to neighbours in the High Street or Rope Walk.

An initial ground survey inspection has not shown any 'near surface' services within the forecourt. During the proposed new works, individual areas will be cordoned off by the contractor, in accordance with current 'Health & Safety' to safeguard the public.

Following the completion of the new work, the front courtyard will enhance the village amenity.

**Funding**

The applicant has made provision to fund sufficient monies to carry out these improvements to form a "green oasis" within an otherwise hard urban environment.



PROPOSED



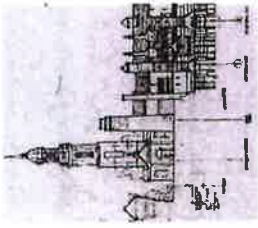
**PROPOSED**



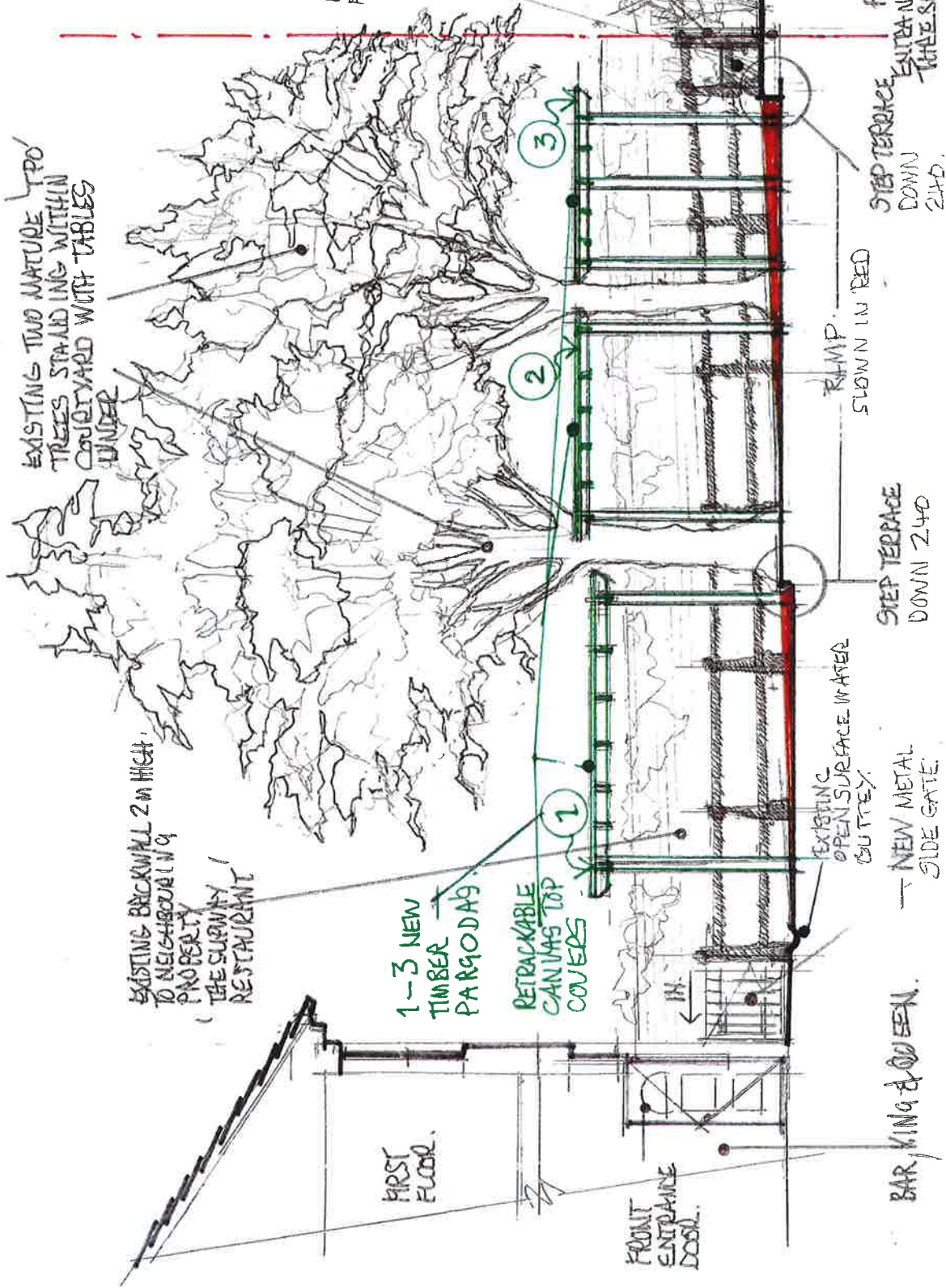
## PAVING DETAIL







Barry J. Lester  
Architectural & Interior Designer  
No 2 Riverbank House, The Quay,  
High Street, Hamble,  
Southampton, SO31 4HA  
07985 461542  
barryjlester@gmail.com  
www.barrylester.co.uk



CROSS-SECTION A-A SHOWING LEVEL TERRACES & RAMP  
NEW LANDSCAPED - FORECOURT - THE KING & QUEEN - HAMBLE







## Hamble Parish Council - Office

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**From:** Stringer, Chris  
**Sent:** 19 June 2018 13:34  
**To:** Budden, Kitty  
**Cc:** Strand, Matthew  
**Subject:** F/18/83051 - L/18/83137 - KING AND QUEEN, HIGH STREET, HAMBLE-LE-RICE

Dear Kitty,

RE: F/18/83051 / L/18/83137 - KING AND QUEEN, HIGH STREET, HAMBLE-LE-RICE

Site assessment  
19/06/2018

Arboricultural documents  
None

### Consultation

The site contains two trees: a holly and a sycamore. The holly is protected under conservation area regulations, whilst the sycamore is covered under tree preservation order. The proposed work would involve the erection of pergolas and some minor level changes.

Given that the ground has historically been heavily used, it is assumed that the ground is relatively compacted. This being the case, it is more likely that the roots of both trees are relatively deep, but at this stage it is impossible to know where the roots do actually exist. Therefore, a sensible approach would be to hand dig the areas required (with the exception of removing any hardstanding).

In general I raise no objection to this work, but think it appropriate, as a condition, to gain more detail on the methods of working around the protected trees than that which is provided within the Design and Access Statement. Therefore, can we condition the following?

No excavation, demolition or development related works shall take place on site until a detailed Arboricultural Method Statement and Tree Protection Plan, as per British Standard 5837:2012 (Trees in Relation to Design, Demolition and Construction – Recommendations) has been submitted and approved by the LPA. The approved Method Statement must be adhered to in full, and may only be modified subject to written agreement from the LPA. Reason: to retain and protect the existing trees which form an important part of the amenity of the locality.

Kind regards,

Chris Stringer  
Tree Consultant  
*Working on behalf of Eastleigh Borough Council*

**Chris Stringer**  
**Tree Consultant**  
Countryside and Trees  
Ext: 8257



## Hamble Parish Council - Office

---

**From:** Historic Environment <historic.environment@hants.gov.uk>  
**Sent:** 08 June 2018 11:11  
**To:** Budden, Kitty  
**Subject:** L/18/83137: KING AND QUEEN, HIGH STREET, HAMBLE-LE-RICE

Dear Ms Budden,

**L/18/83137: KING AND QUEEN, HIGH STREET, HAMBLE-LE-RICE: Erection of three timber pergolas with retractable covers, groundworks and landscaping to existing front forecourt**

Thank you for your consultation. The proposed new pergolas and landscaping may have an impact upon the setting of the King and Queen public house, which is a Grade II Listed Building. I would however defer to any views offered in this matter by the Borough Council Conservation Officer.

Yours sincerely,

**Neil J. Adam BA ACIfA  
Senior Archaeologist**

Telephone number: 01962 832337  
email [Neil.Adam@hants.gov.uk](mailto:Neil.Adam@hants.gov.uk)

Hampshire County Council  
Specialist Environmental Services  
Economy, Transport and Environment Department  
Elizabeth II Court West,  
The Castle  
Winchester  
SO23 8UD



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## Development Management

Eastleigh House, Upper Market Street, Eastleigh, SO50 9YN

Tel: 023 8068 8264 [www.eastleigh.gov.uk](http://www.eastleigh.gov.uk)

Office hours: Mon-Thurs 8.30am - 5pm, Friday 8.30am - 4.30pm



### Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

#### Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website.

If you require any further clarification, please contact the Authority's planning department.

#### 1. Applicant Name, Address and Contact Details

Title:	<input type="text" value="Mr"/>	First Name:	<input type="text"/>	Surname:	<input type="text" value="MITCHINSON"/>
Company name:	<input type="text"/>				
Street address:	<input type="text" value="76, Astral Gardens"/>				
	<input type="text"/>			Telephone number:	<input type="text"/>
	<input type="text"/>			Mobile number:	<input type="text"/>
Town/City:	<input type="text" value="Hamble-Le-Rice"/>			Fax number:	<input type="text"/>
Country:	<input type="text"/>			Email address:	<input type="text"/>
Postcode:	<input type="text" value="SO31 4RY"/>			<input type="text"/>	
Are you an agent acting on behalf of the applicant? <input checked="" type="radio"/> Yes <input type="radio"/> No					

#### 2. Agent Name, Address and Contact Details

Title:	<input type="text"/>	First Name:	<input type="text" value="MARK"/>	Surname:	<input type="text" value="TUSON"/>
Company name:	<input type="text"/>				
Street address:	<input type="text" value="54 SUFFOLK DRIVE"/>				
	<input type="text"/>			Telephone number:	<input type="text" value="07950887579"/>
	<input type="text"/>			Mobile number:	<input type="text"/>
Town/City:	<input type="text" value="WHITELEY"/>			Fax number:	<input type="text"/>
Country:	<input type="text" value="United Kingdom"/>			Email address:	<input type="text"/>
Postcode:	<input type="text" value="PO15 7DJ"/>			<input type="text" value="mtplanning@hotmail.co.uk"/>	

#### 3. Description of Proposed Works

Please describe the proposed works:

Has the work already been started  
without planning permission?

☐ Yes ☒ No

#### 4. Site Address Details

Full postal address of the site (including full postcode where available)

House:  Suffix:

House name:

Street address:

Town/City:

Postcode:

Description of location or a grid reference  
(must be completed if postcode is not known):

Easting:

Northing:

Description:

#### 5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered  
vehicle access  
proposed to or from  
the public highway?

☐ Yes ☒ No

Is a new or altered  
pedestrian access  
proposed to or from the  
public highway?

☐ Yes ☒ No

Do the proposals  
require any diversions,  
extinguishment and/or  
creation of public rights of  
way?

☐ Yes ☒ No

#### 6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

#### 7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within  
falling distance of your proposed development?

☐ Yes ☒ No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

☐ Yes ☒ No

#### 8. Parking

Will the proposed works affect existing car parking arrangements?

☐ Yes ☒ No

#### 9. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

☐ Yes ☒ No

#### 10. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes ☐ No

## 10. Site Visit

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☒ The agent ☐ The applicant ☐ Other person

## 11. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

### Doors - description:

Description of *existing* materials and finishes:

UPVC

Description of *proposed* materials and finishes:

UPVC

### Roof - description:

Description of *existing* materials and finishes:

PROFILED CONCRETE TILES

Description of *proposed* materials and finishes:

TO MATCH EXISTING

### Walls - description:

Description of *existing* materials and finishes:

TRADITIONAL BRICK AND BLOCK

Description of *proposed* materials and finishes:

TO MATCH EXISTING

### Windows - description:

Description of *existing* materials and finishes:

UPVC

Description of *proposed* materials and finishes:

UPVC

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

☒ Yes ☐ No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

MT/1547/1

## 12. Certificates (Certificate A)

### Certificate of Ownership - Certificate A

#### Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding (*"agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act*).

Title:  First name:  Surname:

Person role:  Declaration date:  ☒ Declaration made

## 13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.



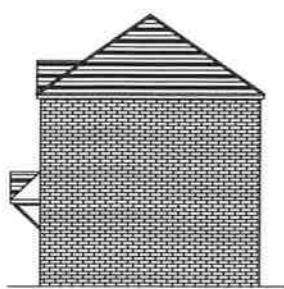
Date



IF IN DOUBT - ASK



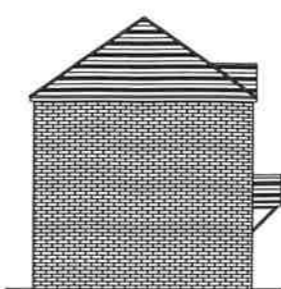
Existing front elevation



Existing side elevation



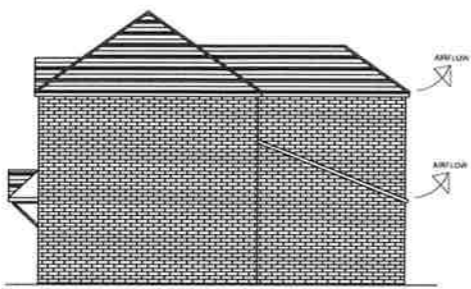
Existing rear elevation



Existing side elevation



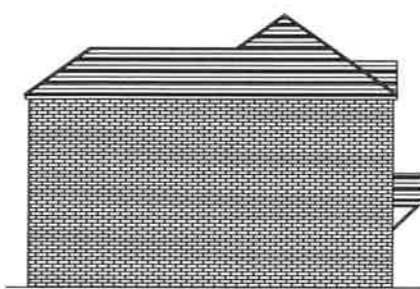
Proposed front elevation



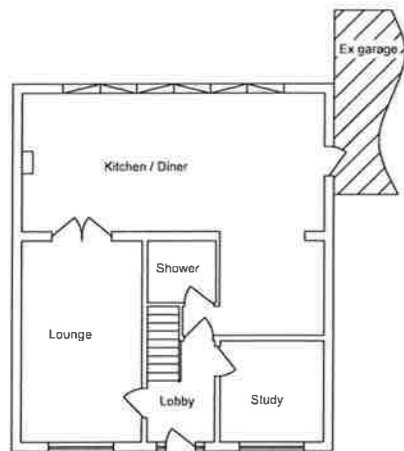
Proposed side elevation



Proposed rear elevation



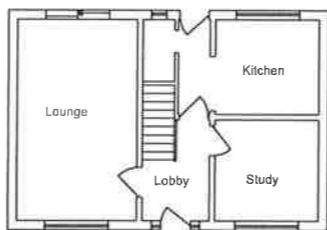
Proposed side elevation



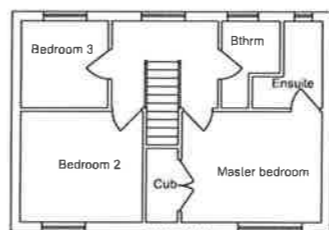
Proposed Ground Floor



Proposed First Floor



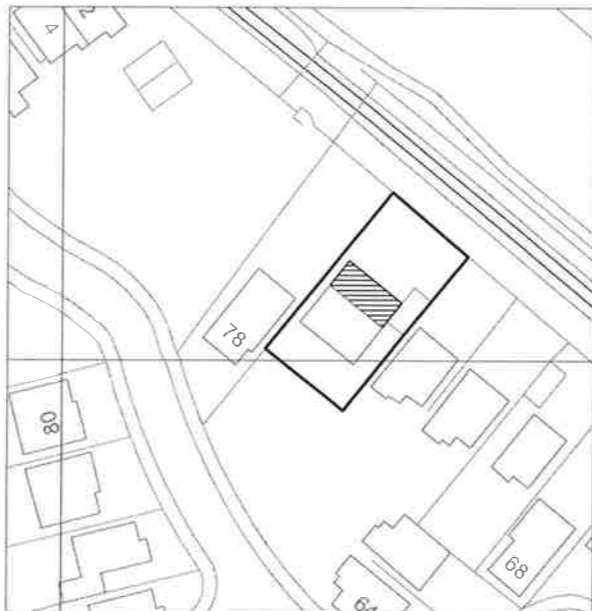
Existing Ground Floor



Existing First Floor



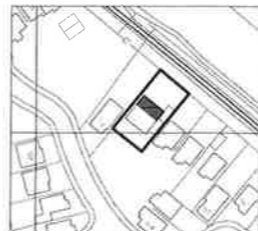
EXISTING SITE PLAN  
SCALE @ 1 : 500



PROPOSED SITE PLAN  
SCALE @ 1 : 500



EXISTING SITE PLAN  
SCALE @ 1 : 1250



PROPOSED SITE PLAN  
SCALE @ 1 : 1250

**NOTE!**  
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WITHOUT THE PRIOR CONSENT OF  
MARK TUSON.

<b>Date</b> July 2017	<b>Approved by</b>
<b>Drawn by</b> Mark Tuson	<b>Scale - 1 : 100 Elevations</b> <b>1 : 100 Plans</b>
<b>Notes</b>	
<b>Client</b> Mr A Mitchinson	<b>Site</b> 76 Astral Gardens Hamble Hants SO31 4RY

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REVISION:- A DRAWING NO:- MT / 1547 / 1



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**Publication of applications on planning authority websites.**

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website.

If you require any further clarification, please contact the Authority's planning department.

**1. Applicant Name, Address and Contact Details**

Title:	Mr & Mrs	First Name:		Surname:	Williams
Company name:					
Street address:	12, Fry Close				
	Telephone number:				
	Mobile number:				
Town/City:	Hamble-Le-Rice				
	Fax number:				
Country:	Email address:				
Postcode:	SO31 4PF				
Are you an agent acting on behalf of the applicant?					
<input checked="" type="radio"/> Yes <input type="radio"/> No					

**2. Agent Name, Address and Contact Details**

Title:	Mr	First Name:	Paul	Surname:	Gosling
Company name:	PMG Building Design&Consultancy Ltd				
Street address:	Woodlands				
	10 Persian Drive				
	Whiteley				
Town/City:	Fareham				
	Fax number:				
Country:	United Kingdom				
Postcode:	PO15 7BJ				
	Telephone number:				
	Mobile number:				
	Email address:				
	paul.gosling10@btinternet.com				

**3. Description of Proposed Works**

Please describe the proposed works:

Proposed single storey front extension, garage conversion, alterations to existing garage roof, alterations to fenestration, external flue to serve log burner etc

Has the work already been started  
without planning permission?☐ Yes ☒ No

#### 4. Site Address Details

Full postal address of the site (including full postcode where available)

House:  Suffix:

House name:

Street address:

Town/City:

Postcode:

Description of location or a grid reference  
(must be completed if postcode is not known):

Easting:

Northing:

Description:

#### 5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? ☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway? ☐ Yes ☒ No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way? ☐ Yes ☒ No

#### 6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? ☐ Yes ☒ No

#### 7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development? ☒ Yes ☐ No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? ☐ Yes ☒ No

#### 8. Parking

Will the proposed works affect existing car parking arrangements? ☒ Yes ☐ No

If Yes, please describe:

#### 9. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

☐ Yes ☒ No

## 10. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes ☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☐ The agent ☒ The applicant ☐ Other person

## 11. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

### Roof - description:

Description of *existing* materials and finishes:

tiles

Description of *proposed* materials and finishes:

tiles to match existing

### Walls - description:

Description of *existing* materials and finishes:

brick, render (note existing property will be rendered prior to commencement of extension works)

Description of *proposed* materials and finishes:

through coloured render, cedar cladding

### Windows - description:

Description of *existing* materials and finishes:

white upvc windows

Description of *proposed* materials and finishes:

grey upvc windows and doors

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

☒ Yes ☐ No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

001 002 003

## 12. Certificates (Certificate A)

### Certificate of Ownership - Certificate A

#### Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding (*"agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act*).

Title:  First name:  Surname:

Person role:  Declaration date:  ☒ Declaration made

## 13. Declaration

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Date



# **Arboricultural Impact Assessment & Mitigation Statement**

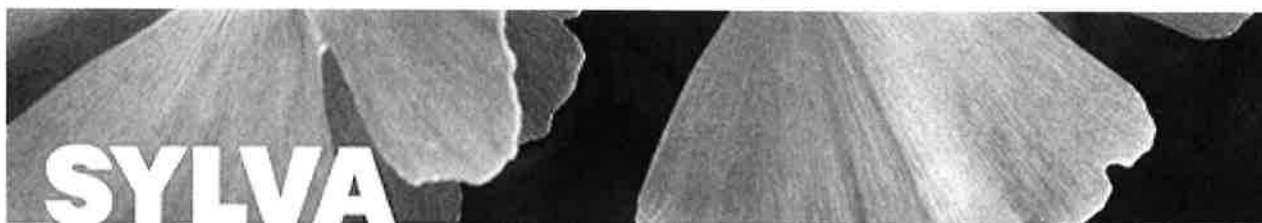
**12 Fry Close Hamble SO31 4PF**

**Date: 05 June 2018**

**Ref: 18002/JG/Fry**

 Institute of  
Chartered Foresters  
Registered Consultant

  
Arboricultural  
ASSOCIATION  
Professional Member



SYLV  
consulting ltd

Chartered Arboriculturists

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## 1 Tree Officer Summary Page

### Summary table of impact of trees

Associated Impact	British Standard 5837 2012 Category			
	A (High quality)	B ( Moderate quality)	C (Low quality)	U (less than 10 years life expectancy)
Tree removals for construction	0	0	0	0
Tree removals for management	0	0	0	0
Pruning for tree management	0	0	0	0
Pruning to facilitate construction	0	0	0	0
Trees close to occupied buildings	0	0	0	0

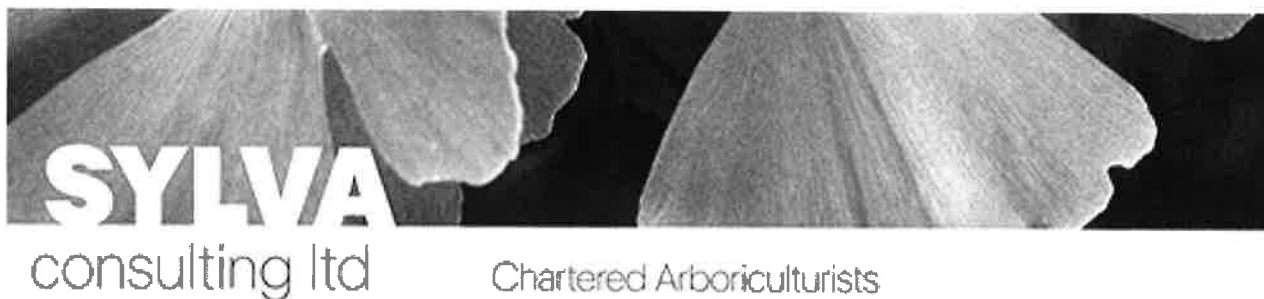
### Summary of impact to overall canopy cover

No trees will be lost because of this development proposal; The overall impact of the proposal on local amenity is none.

The adjacent trees T1, T2 and T3 will remain unaffected by the proposed development. The extension is to be built on a strip foundation so as to tie in with the construction of the main house, the portion of foundation within the RPA of T3 can be excavated as a shallow foundation (similar to a ring beam on piled foundations) which is cantilevered from the foundations outside the RPA. The portion of cantilevered foundation within the RPA can be excavated by hand with any larger roots found above 25mm preserved.

I feel that this method is acceptable due to the proposed extension being outside of the RPAs to T1 and T2. The proposed extension does occupy the smallest amount (0.12m<sup>2</sup>) of the RPA to T3.

Ground protection will be installed within the RPA of the trees where working room is required to build the extension. Protective fencing is also to be installed prior to any works being undertaken on site so as to ensure there is a CEZ present that conforms to BS 5837 (2012).



It is important to acknowledge the history of the location in relation to the trees; in the past there has been an incursion into the tree RPA, although I do not have records of the site previous to the current layout and these RPA could indeed be theoretical due to the time scale of the development of the housing development within Fry Close and surrounding roads.

However regardless of the unknown, these are the facts that I present:

- T3 has a total RPA of 408m<sup>2</sup> - Within the existing RPA of T3 there would appear to be the hard surfacing of the public highway within Fry Close and its parking bays, plus a small portion of the dwelling at No. 13 St Agathas Road.
- The road and parking bays occupy 62m<sup>2</sup> of the RPA. No. 13 occupies an area of 6.8m<sup>2</sup> within the RPA.
- These areas, combined with the area of the proposed extension within the RPA of T3 would occupy approximately 16% of the RPA and as such is below the recommended 20% of development allowed in line with BS 5837 (2012).

**AS PREVIOUSLY STATED THIS PROPOSED EXTENSION ONLY ENTERS THE RPA OF T3 BY 0.12M<sup>2</sup> AND AS SUCH WILL NOT NEGATIVELY AFFECT THE HEALTH OF THE PINE TREE.**

Soil levels within the current undeveloped RPA of the trees will remain unchanged and undisturbed.

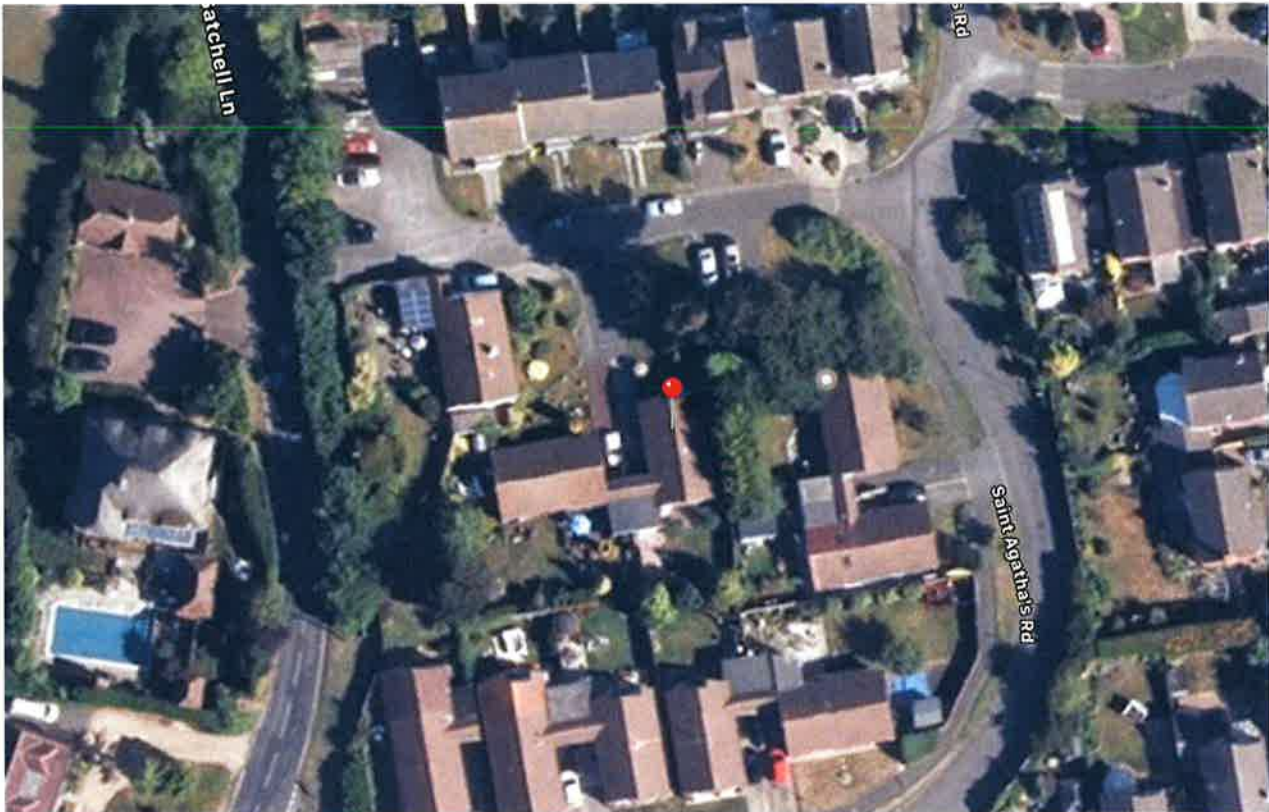
Based on my findings in relation to this project I believe that if the recommendations set out with this report are adhered to then the trees adjacent to the site will grow on unharmed remaining a long term sustainable asset for the future (In line with their current condition).

## 2     Arboricultural Implications Assessment and Mitigation Proposals

### Introduction

- 2.1     **Instruction:** This report was instructed by Mr Paul Gosling of PMG Ltd and Mr David Williams of 12 Fry Close with regard to the proposed development at 12 Fry Close Hamble SO31 4PF. The report details all trees over 75mm at 1.5m above ground level that are relevant to the siting of the proposed development. The position of the trees on the site is illustrated at Appendix 1 on the site plan.
- 2.2     **Site visit:** The site visit was undertaken on Tuesday May 1<sup>st</sup> 2018. The trees were surveyed visually, externally and from ground level only. No samples or internal decay detection readings were taken for further analysis. All dimensions have been measured unless stated otherwise. Weather conditions at the time of the survey were dry and fair with no wind.
- 2.3     **Site Description:** The site is located in a residential area comprising of mixed properties set within the cul-de-sac development within Fry Close Hamble Hampshire. Number 12 is a detached single-story dwelling, the front garden is a mix of lawn with shrub beds and the only constraint noted are three off site Pine trees.

Site location (Courtesy of Google Images)



- 2.4 **Tree assessment:** The existing tree stock has been identified and graded in line with the current British Standard BS 5837 2012: Trees in relation to design, demolition and construction - Recommendations to enable informed decisions to be made regarding tree retention. The report also details methods of construction to be implemented to safeguard the retained tree.
- 2.5 **Tree constraints:** This report details the constraints placed on the proposed development from the rooting area of the trees below ground and above ground by their size and position. This report will therefore inform the planning process for the proposed development to minimise any negative impact on the existing tree stock and ensure that the retained trees shall be in harmony with the proposed development enabling their long-term retention.

2.6 **Documents provided:** The tree protection plan is derived from the following provided information:

- Layout, drawing number SK001 rev B and SK002 rev B received by email from PMG Ltd on 25/6/18.

2.7 **Limitations of this report:** The following limitations apply to this report

1. **Statutory protection:** The existence of tree preservation order or conservation area protection does not automatically mean trees are worthy of being a material constraint in a planning context. Trees can be formally protected, but be in poor structural condition or in declining health, which means that they are unsuitable for retention or influencing the future use of the site. Furthermore, a planning consent automatically takes precedent over these forms of protection, which makes them of secondary importance. For these reasons, we do not usually check statutory protection as a matter of course in the process of preparing this report.
2. **Ecology and archaeology:** Although trees can be valuable ecological habitat and can grow in archeologically sensitive locations, we have no specialist expertise in these disciplines and this report does not consider those aspects.
3. **Tree assessment and management advice:** The comments made with regard to the health and stability of the trees within this report were correct at the time of inspection. It should be recognized that trees are dynamic structures that can never be completely predictable and may become unstable or partially unstable even in average weather conditions. Changes can occur not only to environmental triggers but also in response to biological or mechanical events. Our inspection of the trees is made on the basis that they will be annually inspected in the future to identify any changes in condition and review the original recommendations. For these reasons, the tree assessment advice only remains valid for one year from the date that the trees were last inspected. No tree is ever absolutely safe due to the unpredictable laws and forces of nature.

The inspection was carried out from ground level. Binoculars were used to observe the following features higher in the canopies.

- Foliage, extension growth and/or bud proliferation were assessed visually.
- No soil or tissue samples were taken during this inspection.
- No invasive diagnostic equipment was used to detect decay.
- Where practicable and reasonable, ivy was removed during the inspection process to get a better view of potential defects. Where this is not possible, it has been noted as a recommendation to be removed to allow detailed re-inspection.

**2.8 Technical references:** This arboricultural method statement is based on the following primary technical references:

- British Standards Institution (2012) BS 5837: Trees in relation to design, demolition and construction – Recommendations
- National Joint Utilities Group (2007) Volume 4, Issue 2: Guidelines for the planning, installation and maintenance of utility apparatus in proximity to trees.

**2.9 Qualifications and experience:**

Jamie Gargett is a Chartered Arboriculturist and holds a Master of Science Degree (Forestry) from Bangor University. A National Diploma in Arboriculture (Distinction) from Sparsholt College. He also holds the LANTRA Professional Tree Inspection Certificate and is a Registered Consultant with the Institute of Chartered Foresters. Jamie is a Professional Member of The Arboricultural Association and is a qualified OCN Forest Schools Practitioner.

Jamie has worked in the Arboricultural profession for fifteen years and has experience gained from undertaking practical tree work as well as working as an Arboricultural Surveyor in commercial industry, a technical contractor to the MOD (DHE), a local government Arboriculture Manager, Tree Officer and Planning Enforcement Manager and now runs his own arboricultural consultancy business.

## Arboricultural Impact Assessment

### Direct Loss of Trees & Arboricultural Implications

2.10 **Tree Pruning:** Trees that require pruning as part of sound arboricultural reasons are detailed as follows:

- **Trees to be pruned as routine management:** None for the development proposal.
- **Impact to trees from pruning works:** None for this development proposal.
- **Proximity of trees close to occupied buildings:**

Future pressure to fell is a commonly used reason for refusal used by Councils where they fear they may not be able to resist TPO applications to fell from future occupants. However, from my experience as a LPA Tree Officer, it is clear that there is a very strong trend against appellants being successful in removing trees. I believe this is the case in Hampshire and an analysis of their appeal statistics will prove that there is a very strong presumption by government inspectors to support LPAs in their efforts to retain trees. On this basis, it would be necessary for current or future occupants to clearly demonstrate that their normal use of the property has been significantly inconvenienced before tree removal is a realistic outcome.

2.11 **Impact to trees from encroachment into their RPAs:** Trees T1 and T3 will require special precautions within their RPAs to minimise and prevent harm. If the precautions set out below are implemented as described (in conjunction with the AMS), these trees can be successfully retained without any adverse impact.

- In order to construct the proposed single-story extension Additional staging to the AMS has been considered:

1. Fencing and ground protection to be installed prior to development.
2. The portion of foundation within the RPA can be excavated as a shallow foundation (similar to a ring beam on piled foundations) which is cantilevered from the foundations outside the RPA. The portion of cantilevered foundation within the RPA can be excavated by hand with any larger roots above 25mm preserved.

## Mitigation issues likely to require further clarification

2.12 From this appraisal, issues that are specifically dealt with in the following Arboricultural method statement section include:

1. Pre-commencement meeting
2. Preliminary tree felling and pruning
3. Installation of CEZ barriers (fencing and/or ground protection)
4. Installation of new structures
5. Installation of special surfacing
6. Installation of new services or upgrading of existing services
7. Removal of protective measures
8. Programming of tree protection
9. Arboricultural supervision

2.13 **Providing construction information (that may directly influence tree protection requirements)**

A construction method statement is a description of how operations that may affect trees will be carried out to minimise any adverse impact on them. The details of how the site will be managed are construction and contractual matters that can only be finalised once the post-consent detailed planning begins. For that reason, at this stage in the planning process, it is only possible to list a heads of terms summary of the issues that will require more detailed consideration once consent is issued. The issues that may require further clarification on this site include:

1. Erection and maintenance of security hoarding near trees.
2. How accidents and emergencies involving trees will be managed, including accidental damage to roots and their treatment.
3. Details of facilitation pruning and access into site. What size machinery will be used under canopies.
4. How machinery and equipment (such as excavators, cranes and their loads, concrete pumps and piling rigs) will enter, move on, work on and leave the site.
5. Details of earthworks, grading and mounding and removal of spoil, including any planned lowering or raising of ground levels.

**Note:** It is not our role as arboricultural consultants to detail the timing and implementation of these measures, although we can input into the process and will need to confirm that the final proposals will not adversely affect retained trees.

### 3 Conclusions

No trees will be lost because of this development proposal; The overall impact of the proposal on local amenity is none.

The adjacent trees T1, T2 and T3 will remain unaffected by the proposed development. The extension is to be built on a strip foundation so as to tie in with the construction of the main house, the portion of foundation within the RPA of T3 can be excavated as a shallow foundation (similar to a ring beam on piled foundations) which is cantilevered from the foundations outside the RPA. The portion of cantilevered foundation within the RPA can be excavated by hand with any larger roots found above 25mm preserved.

I feel that this method is acceptable due to the proposed extension being outside of the RPAs to T1 and T2. The proposed extension does occupy the smallest amount (0.12m<sup>2</sup>) of the RPA to T3.

Ground protection will be installed within the RPA of the trees where working room is required to build the extension. Protective fencing is also to be installed prior to any works being undertaken on site so as to ensure there is a CEZ present that conforms to BS 5837 (2012).

It is important to acknowledge the history of the location in relation to the trees; in the past there has been an incursion into the tree RPA, although I do not have records of the site previous to the current layout and these RPA could indeed be theoretical due to the time scale of the development of the housing development within Fry Close and surrounding roads.

However regardless of the unknown, these are the facts that I present:

- T3 has a total RPA of 408m<sup>2</sup> - Within the existing RPA of T3 there would appear to be the hard surfacing of the public highway within Fry Close and its parking bays, plus a small portion of the dwelling at No. 13 St Agathas Road.
- The road and parking bays occupy 62m<sup>2</sup> of the RPA. No. 13 occupies an area of 6.8m<sup>2</sup> within the RPA.
- These areas, combined with the area of the proposed extension within the RPA of T3 would occupy approximately 16% of the RPA and as such is below the recommended 20% of development allowed in line with BS 5837 (2012).

**AS PREVIOUSLY STATED THIS PROPOSED EXTENSION ONLY ENTERS THE RPA OF T3 BY 0.12M<sup>2</sup> AND AS SUCH WILL NOT NEGATIVELY AFFECT THE HEALTH OF THE PINE TREE.**

Soil levels within the current undeveloped RPA of the trees will remain unchanged and undisturbed.

Based on my findings in relation to this project I believe that if the recommendations set out with this report are adhered to then the trees adjacent to the site will grow on unharmed remaining a long term sustainable asset for the future (in line with their current condition).

## 4 Arboricultural Method Statement

- 4.1 This Arboricultural Method Statement (AMS) has been produced in line with BS 5837 2012: Trees in relation to design, demolition and Construction-Recommendations to aid the successful retention of the trees adjacent to the proposed development at 12 Fry Close Hamble. No development shall take place on the site until this document has been submitted to and approved in writing by the Local Planning Authority.
- 4.2 This document sets out the methodology for all proposed works that affect trees on and adjacent to the site. Compliance with this method statement will be a requirement of all relevant contracts associated with the development proposals. Copies of this document will be available on site for inspection.
- 4.3 For details of the tree to be retained and location and types of special protection methods, reference should be made to the Tree Protection Plan (TPP). A copy of which should be displayed prominently on site.

### 4.4 PHASING OF DEVELOPMENT

#### Phase 1 – Pre Development Phase

**Establishment of Tree Protection Measures:** Tree protection measures to be installed under the supervision of the retained Arboriculturist.

- **Protective Barriers**

The protective barriers erected will be in accordance with Figures 2 and 3 of BS 5837:2012 (Appendix 2) and will form the boundary of the construction exclusion zone (CEZ). Where feasible, the position of the fencing will be based on a distance equivalent to the radius of the RPA of the tree. Once erected all weather signage should be displayed stating 'Construction Exclusion Zone - Keep Out' Once established the protective barriers are not to be moved without written consent from the Local Planning Authority.

- **Ground Protection**

In accordance with the specification in Appendix 3.

- **Storage Areas**

Materials and machinery are to be stored on the driveway/access area outside of the RPAs of retained trees.

### **Phase 2 – Construction Phase**

**Special precautions:** All the retained trees will be protected from damage by the use of barriers (fencing and ground protection). Additionally, in the precautionary areas shown on the tree protection plan, special precautions relating to their management will be required. All these protective measures are shown on the plan and explained below: -

- Installation of new structures
- Installation of new services or upgrading of existing services: It is proposed to use the existing services into the site where possible.
- Removal of protective measures
- Arboricultural supervision
- The portion of cantilevered foundation within the RPA should be excavated by hand with any larger roots found above 25mm preserved.

#### **4.5 General Arboricultural Considerations**

Protective barriers must be regarded as sacrosanct, and must only be moved under direct supervision of the LPA or named Arboriculturist to enable the undertaking of works within the RPA of the trees, as set out in this AMS, and approved in writing by the LPA. It is of paramount importance the fencing is repositioned correctly after any agreed operations.

No materials, chemicals, machinery or vehicles must be stored within the RPA as defined on the TPP and identified on site by protective fencing and aboveground root protection.

Ground protection must not be lifted or removed without prior consultation with the LPA or named Arboriculturist.

Damage caused to protective fencing or ground protection must be reported to the site supervisor and the named Arboriculturist to ensure appropriate repair.

Any damage to the retained tree must be reported without delay to the site supervisor, the LPA and the named Arboriculturist so appropriate remedial work can take place without delay.

No materials that are likely to have an adverse effect on tree health such as oil, bitumen or cement will be stored or discharged within 5 metres of the trunk of the retained tree or any other trees on the site.

No fires will be lit on site. Notice boards, telephone cables or any other signage or services are not to be attached to any part of the retained trees.

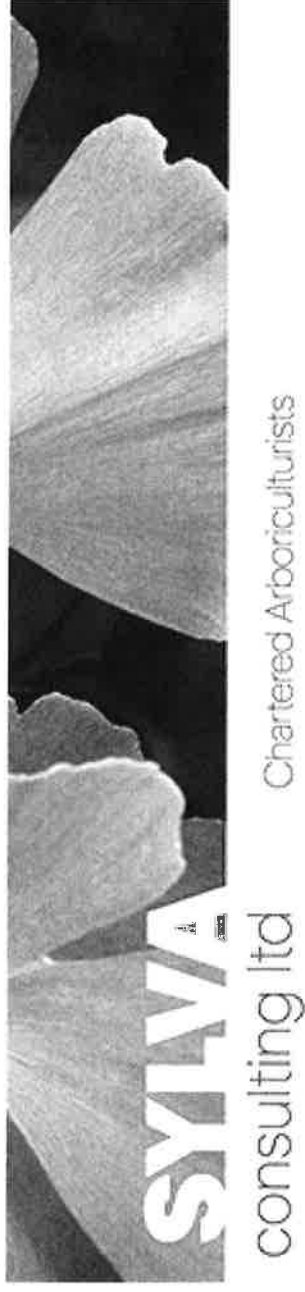
#### **4.6 Supervision and Monitoring**

The project Arboriculturist shall be responsible for monitoring/supervising the following works.  
(If instructed formally by the developer/agent)

- Establishment of protective barriers to form the CEZ and ground protection
- Establishment of the unit footprint.
- Establishment of the agreed foundations within the RPA

The exact details for ongoing supervision during the construction works close to trees should be agreed at the pre-commencement meeting between the Developer, Tree Officer and the project Arboriculturist. Periodical monitoring to inspect the protective fencing and ensure the CEZ is intact with careful supervision of any works necessary close to trees. A record of site visits will be maintained for inspection on site and copies forwarded to the agent and planning authority when requested.

Please note this AMS is not a contract. The retention and services of a project Arboriculturist for supervision and monitoring must be agreed prior to commencement of construction operations.



## Appendix 1 – Tree Survey Plan with RPAs and Explanatory Notes

### Tree Survey Data

In accordance with BS 5837 2012: Trees in relation to design, demolition and construction – Recommendations, the characteristics of the single-stemmed trees over 75mm stem diameter measured at 1.5m above ground level were recorded and been categorised in accordance with Table 1 of BS5837: 2012. The following tree data table should be read in conjunction with the annotated site plan shown at Appendix 5 and the legend on the page.

Tree No	Species	Height (m)	Diameter (cm) @ 1.5m	Maturity	Low Branches	Category & Condition	Notes	Tree Works	RPA radius (m)
T1	Corsican Pine	13	54	M	N	C Fair	Mature specimen that is starting to reach the final third of its life cycle	None	6.5
T2	Corsican Pine	13	43	M	N	C Fair	Mature specimen that is starting to reach the final third of its life cycle	None	5.2
T3	Corsican Pine	13	95	OM	N	U Fair	Ivy clad stem – removal of Ivy recommended.	None beyond removal of Ivy and carry out Visual Tree Inspection.	11.4

# Appendix 1 – Tree Survey Plan with RPAs and Explanatory Notes

## Abbreviations:

T	: Tree
RPA	: Root protection area

## • Botanical tree names:

Corsican Pine : *Pinus nigra*

**BS 5837 (2012) compliance:** All data has been collected based on the recommendations set out in subsection 4.4 of BS 5837.

- **Future tree safety inspections:** Our assessment of the trees was carried out on the basis that a re-inspection would be carried out within a year of the assessment visit and our advice on tree condition must be reviewed annually from the date of that visit.
- **Site limitations:** Where there is restricted access to the base of a tree, its attributes are assessed from the nearest point of access. Climbing inspections are not carried out during a walkover tree survey and, if heavy ivy is present, tree condition is assessed from what can be seen from the ground. A separate note is recorded if further investigation may be required to clarify its status.
- **Crown spreads:** Crown spread dimensions are not listed in the tree schedule because they are illustrated on the land survey base to all the plans in this document. Where crown spreads of significant trees on site are found to deviate from those shown on the provided land survey, we have noted it in the text of the report and annotated it on our plans.
- **Dimensions:** All dimensions are estimated unless annotated with a '\*’.
- **Species:** Species identification is based on visual observations. Where there is some doubt over tree identity, sp is noted after the genus name in the botanical names section above to indicate that the species cannot be reliably identified at the time of the survey. Where there is more than one species in a group, only the most frequent are noted and not all the species present may be listed.
- **Height:** Height is estimated to provide an indication of the size of the tree.
- **Trunk diameter:** Trunk diameter is estimated or measured and recorded in 2.5cm increments as advised in BS 5837 Table D1. It is measured with a diameter tape unless access is restricted, direct measurement is not possible because of ivy on the trunk or the tree is assessed as poor quality. The point of measurement and the adjustments for stem variations are as advised in Figure C1 of BS 5837. The RPAs given below have been used for single stem trees and the equivalent resultant combined stem diameter for multi-stemmed trees.
- **Maturity:** In a planning context, maturity provides a simplistic indication of a tree’s ability to cope with change and its potential for further growth. For the purposes of this report the following life stages are recorded as one of seven categories below. Age class is indicative and will vary between species:

LIFE STAGE	DEFINITION
<b>Young (Y)</b>	Recently planted or establishing tree that could be transplanted with specialist equipment, i.e. less than 150mm in diameter at 1.5m.
<b>Semi-mature (S/M)</b>	An established tree, but with some growth to make before reaching its potential maximum size. A tree within its first third of lifespan.
<b>Early mature (E/M)</b>	A tree that is reaching its ultimate potential height, whose growth rate is slowing down but if healthy, will still increase in stem diameter and crown spread. A tree in the second third of life span.
<b>Mature (M)</b>	A mature specimen with limited potential for any significant increase in size, even if healthy. A tree within its final third of expected lifespan.
<b>Over mature (M)</b>	A senescent (declining/degradation) or moribund specimen of low vigour within its final third of expected lifespan. Possibly also containing sufficient structural defects with safety and/or duty of care implications.
<b>Veteran (V)</b>	Specimens exhibiting features of biological, cultural or aesthetic value that are characteristic of, but not exclusive to, individuals surviving beyond the typical age range for the species concerned.
<b>Dead (D)</b>	The tree is dead and cannot be clarified as a veteran tree. Its age up till death is of no significance.

- **Low branches:** Any low branches that would not be feasible for removal during normal management and should be considered as a design constraint are noted here and explained in the notes.
- **Category:** Our assessment automatically considered tree physiological/structural condition (BS 5837, 4.4.2.5h), and so these are not listed separately in the schedule. Additionally, the category accounts for the remaining contribution (BS 5837, 4.4.2.5i) as greater than 40 years for A trees, greater than 20 years for B trees, at least 10 years for C trees and less than 10 years for U trees, so this is also not listed separately in the schedule. Category A, B and C trees are automatically listed as sub-category 1 unless otherwise stated.
- **Notes:** Only relevant features relating to physiological or structural condition and low branches that may help clarify the categorisation are recorded. If there are no notes, then the presumption should be that no relevant features were observed. Condition may be recorded as one of the following four categories:

CONDITION	DEFINITION
<b>Good (G)</b>	Generally, in good health typical of the species needing little, if any, attention. Few minor defects of little overall significance such as physical damage or suppressed branches. Showing no adverse risk of failure/defects.
<b>Fair (F)</b>	A tree with minor but rectifiable defects or in the early stages of stress, from which it may recover. Showing minor signs of deterioration. This could include a major defect in the early life stage, or multiple minor defects. A tree that may require work to remove or improve a defect.
<b>Poor (P)</b>	A tree with major structural and physiological defects or stressed such that it would be a risk to retain it in its current condition given the time or remedial work.
<b>Dead (D)</b>	A tree no longer alive. Also trees that are in such severe decline they are unlikely to recover.

- **Tree works:** The inspection of all trees was of a preliminary nature and only defects visible from the ground have been identified. Each individual tree may not have been inspected closely because of access difficulties and only defects visible from the inspection point have been noted. In addition to tree removals for development and management reasons, further works are listed to reduce the threats from retained trees. All trees on the site should be checked by the contractor at the time of carrying out the main tree works to deal with any emerging safety issues in the context of the consented development.
1. **Reporting during work operations:** In the context of the preliminary nature of the tree inspection, any defects that may affect tree safety discovered by the contractor when carrying out the work recommendations should be reported to the supervising officer. Modification to the schedule of works may be required because of these reports. The contractor should be specifically instructed on this point.
  2. **Implementation of works:** All tree works should be carried out to BS 3998 *Recommendations for Tree Work* as modified by more recent research. It is advisable to select a contractor from the local authority list and preferably one approved by the Arboricultural Association. Their Register of Contractors is available free from The Malthouse, Stroud Green, Standish, Stonehouse, Gloucestershire GL10 3DL; phone 01242 522152; website [www.trees.org.uk](http://www.trees.org.uk).
  3. **Statutory wildlife obligations:** The Wildlife and Countryside Act 1981 as amended by the Countryside and Rights of Way Act 2000 provides statutory protection to birds, bats and other species that inhabit trees. All tree work operations are covered by these provisions and advice from an ecologist must be obtained before undertaking any works that might constitute an offence.
  4. **Stumps:** Stumps to be removed within the RPAs of retained trees should be ground out with a stump grinder to minimise any disturbance unless otherwise authorised by the supervising officer.
  5. **Future tree inspections:** Due to the time that may elapse between the original survey and the start of development, all trees should be re-inspected as part of the standard risk management process before any works start on site.

## Appendix 2 – Tree Protective Fencing

### Extract from BS5837: 2012 Figure 2 - Default specifications for tree protective fencing and photographic example



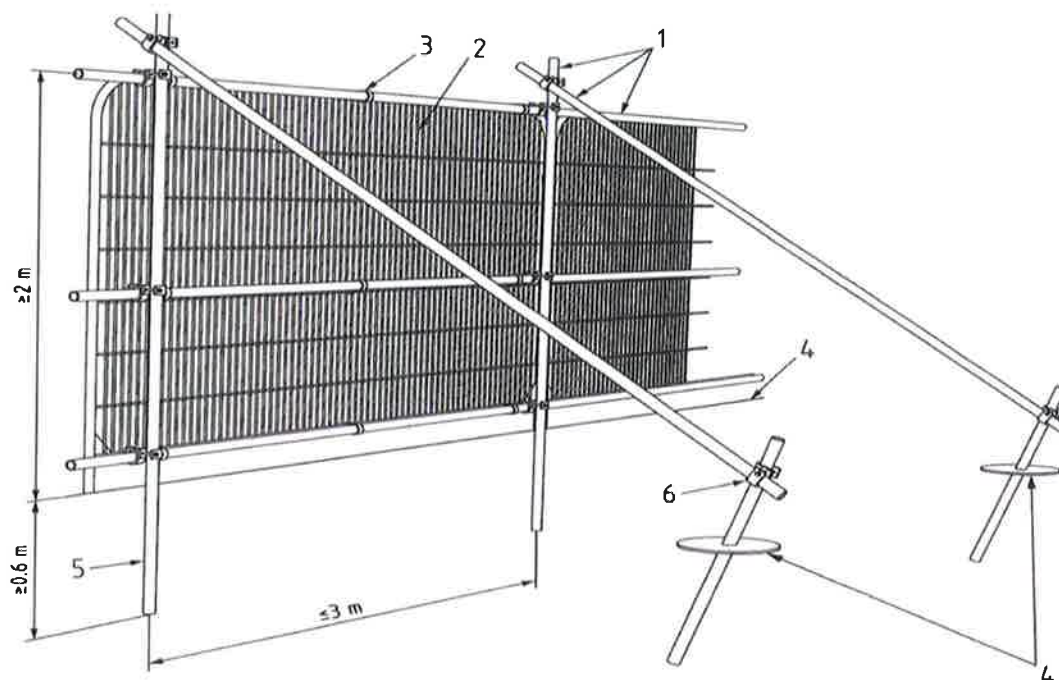
Once established the protective barriers are not to be moved without written consent from the Local Planning Authority.

Protective barriers must be regarded as sacrosanct, and must only be moved under direct supervision of the LPA or named Arboriculturist to enable the undertaking of works within the RPA of the tree, as set out in this AMS, and approved in writing by the LPA. It is of paramount importance the fencing is repositioned correctly after any agreed operations.

No materials, chemicals, machinery or vehicles must be stored within the RPA as defined on the TPP and identified on site by protective fencing and above ground root protection.

#### KEY

- Standard scaffold poles
- Heavy gauge 2m tall galvanised tube and welded mesh infill panels
- Panels secured to uprights and cross-members with wire ties
- Ground level
- Uprights driven into the ground until secure (minimum depth 0.6m)
- Standard scaffold clamps



## Appendix 3 – Ground Protection

### Ground protection guidance and photographic examples

**SYLVA**  
consulting ltd

In all cases, the objective should be to avoid compaction of the soil from the constant foot traffic heavy vehicles, especially in wet conditions, so that tree root functions remain unimpaired. New temporary ground protection should be capable of supporting any traffic entering or using the site without being distorted or causing compaction of underlying soil.

Where construction working space or temporary construction access is justified within the RPA, this should be facilitated by a set-back in the alignment of the tree protection barrier. In such areas, suitable existing hard surfacing that is not proposed for re-use as part of the finished design should be retained to act as temporary ground protection during construction, rather than being removed during demolition. The suitability of such surfacing for this purpose should be evaluated by the project arboriculturist and an engineer as appropriate.

**NOTE** The ground protection might comprise of these examples:

Image 1: Mulch underneath plyboards can be adequate protection for foot traffic purposes



Image 2: Bespoke boards designed to fit around the build area are sturdy and useful where small extensions are being built



Image 3: Ground protection can be erected on scaffold platforms to prevent foot traffic from compacting tree roots



Image 4: Existing surfacing can be used as ground protection and reinstated near the end of development



Image 5: Concrete slabs formed on site can make useful ground protection for heavy construction machinery



Image 6: Geocell can be used as temporary ground protection and lifted once the development site is near completion



## Appendix 4 – Mini-Piles within RPAs (Not used as part of this project)

### Careful installation of mini-piles within RPAs

**SYLVA**  
consulting ltd

#### Guidance notes

- 1 All operations will be carried out on the development side of the tree beneath the tree canopy.
- 2 The pile locations must be initially dug to a depth of 0.75m to establish if there are any significant roots over 50mm diameter that could be damaged by the pile installation. If roots of this size or larger are found, the pile location will be moved and a new exploratory hole dug.
- 3 The piles will be installed with a mini-piling rig to minimise the potential for damage to tree crowns. Once the piles have been installed, the foundation will be cast in place to avoid any excavation into existing ground levels.
- 4 The following sequence of operations must be followed and signed off in the document record in the order they are listed below:-
  - Pre-commencement site visit with all the appropriate parties to confirm the location, form and extent of tree protective measures.
  - Inspection and agreement in writing that these are satisfactory.
  - Briefing of site operatives by an Arboricultural Consultant before any work commences
  - Hand digging of pile locations with appropriate consultation with Arboricultural Consultant where significant roots are located
  - Preparation of piling platforms where necessary
  - Installation of piles and concrete casting
  - Retention of all protection until construction completed

Image 1: Small mobile mini-piling rigs are to be used where space is limited



Image 2: The pile locations must be identified and dug by hand to explore for roots



Image 3: All operations must be carried out on the development side of the tree




Image 4: Once the pile has been installed in the ground, the foundation can be cast to avoid any excavations



## Appendix 5 – Tree Root Protection Specialist Surfacing (Not at this Project)

### Installation of tree root protection systems for special surfacing



**No Dig System**  
To minimise harm, the tree root protection system must be a combination of a 3 dimensional cellular confinement system, separation and filter geotextiles with a specific grade of granular material. Some preparation of the existing ground levels may be required prior to installation:

**Ground Preparation (Image 1)**

- 1) Remove surface vegetation by hand or with suitable herbicide.
- 2) Fill any hollows in the exposed ground with sharp sand or 4/20mm or 40/20mm clean angular stone.
- 3) Place Permatex 300 Geotextile over the area to be protected ensuring overlaps are a minimum of 300mm

**Installing the Cellular Confinement System (Image 2)**


- 1) Place the collapsed panel on the geotextile and pin through 3 cells across the 2.42m orientation using staking pins.
- 2) Expand the panel to its full length of 8.7m and pin across the opposite panel end using staking pins.
- 3) Pin along the length of the panel with 2 pins on each side
- 4) Staple any adjacent panels together using a stapler and staples.
- 5) The cellweb panels can be cut to shape if required with a heavy duty Stanley Knife.

**Filling the Cellular Confinement system (Image 3)**


- 1) The correct specification of the granular infill is vital to the long term performance of the system. Use only 4/20mm or 40/20mm clean angular stone to BS EN 13242 and 12620 (depending on cell depth being used)
- 2) Fill the pockets of the cellular confinement system with a 4/20mm or 40/20mm clean angular stone.
- 3) Allow for any settlement of the stone in the cells and top up if necessary.

**Surfacing Details (Image 4)**  
The tree root protection system can be surfaced with porous materials such as ,gravel or other suitable materials designed to allow water percolation. These porous systems will be of greater benefit for the trees, and should be used when possible.


**Image 1:** Some preparation of the existing ground levels are required to ensure the new surfacing can be installed correctly




**Image 2:** The panels need to be expanded and secured with staking pins



**Image 3:** The granular infill should be carefully poured into the cells and spread by hand



**Image 4:** The wearing course should be porous and installed before heavy construction vehicles pass over it

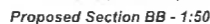


## Appendix 6 – Tree Protection plan









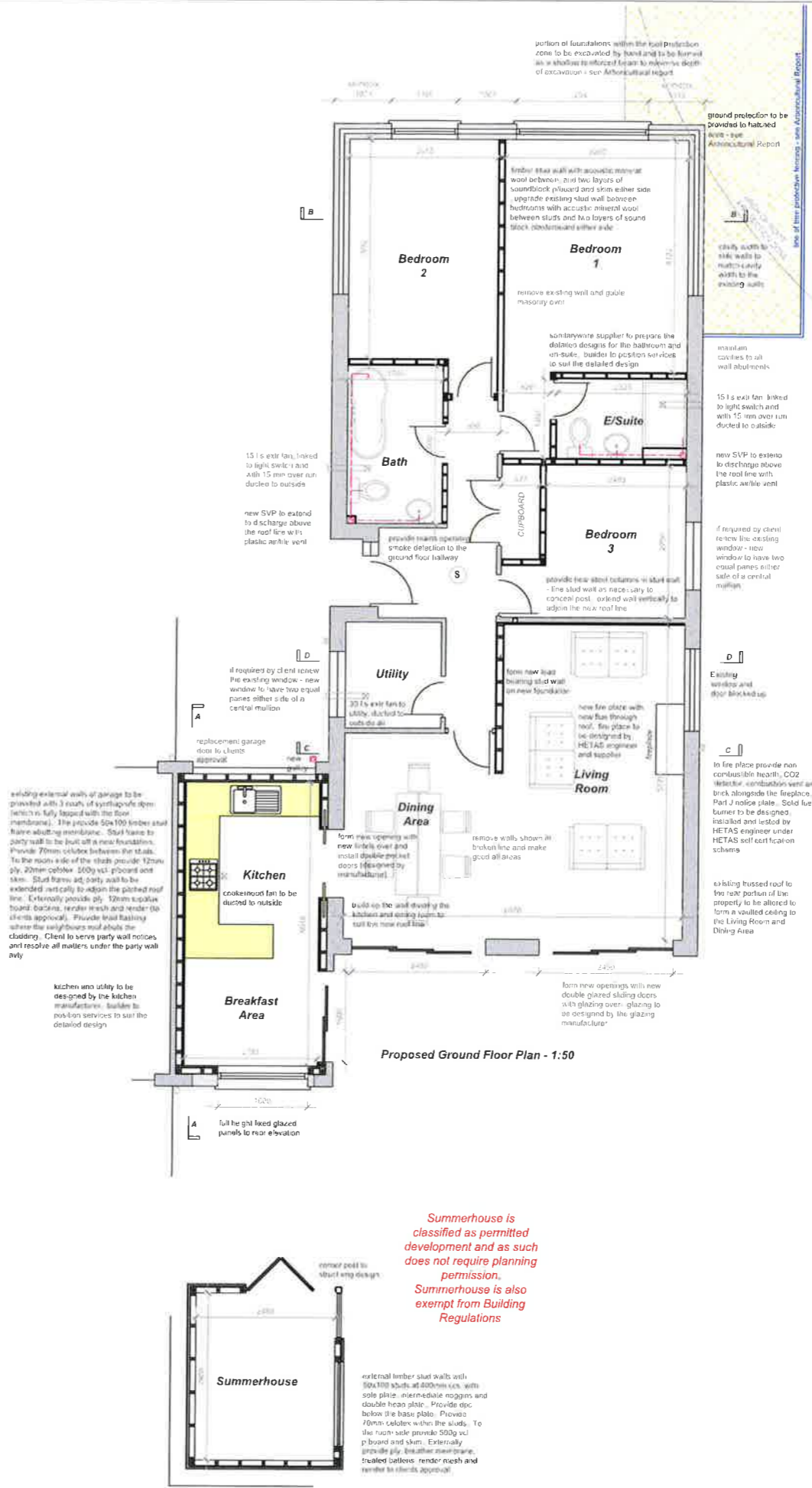
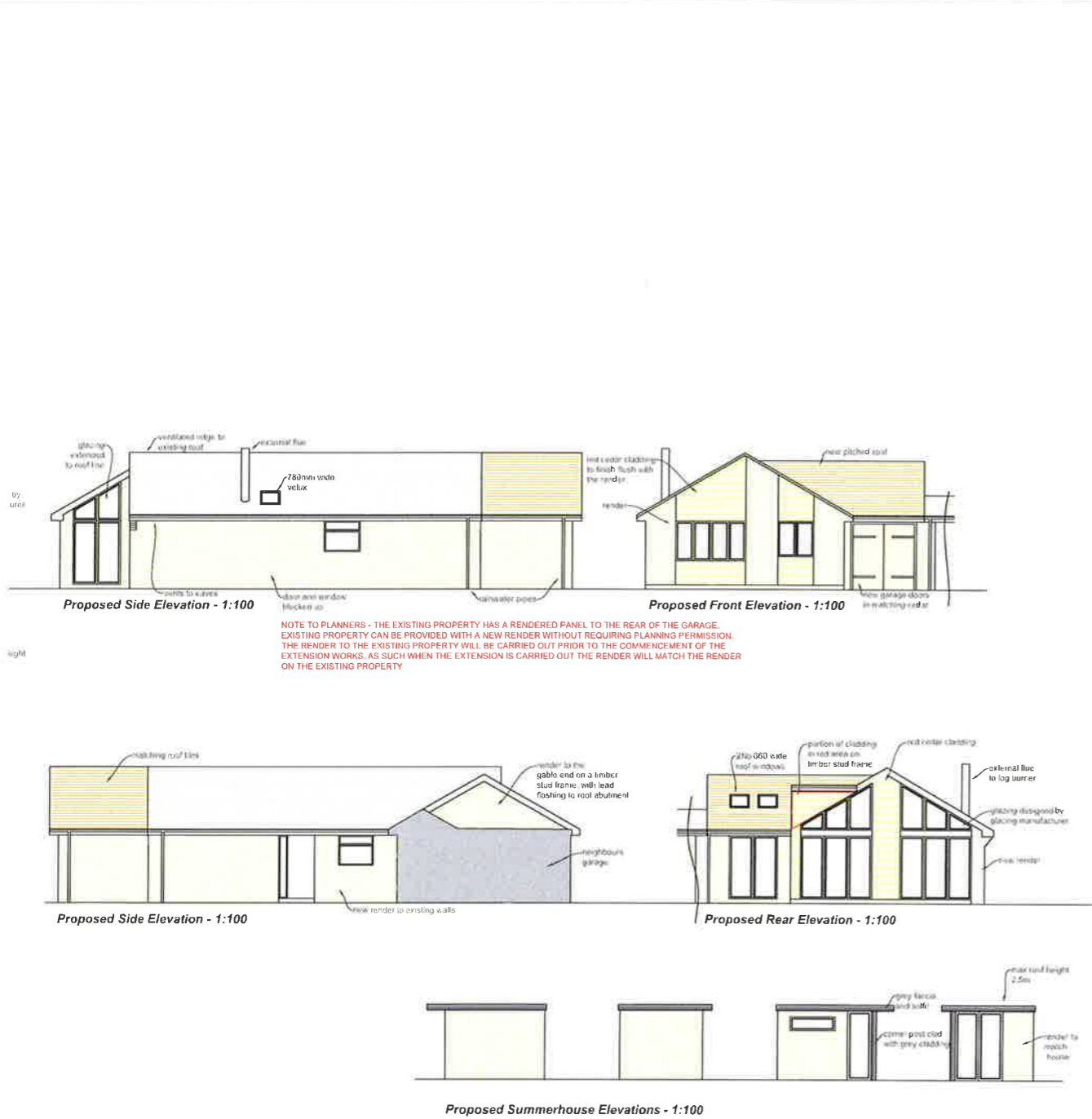
All drainage layouts shown on the plans are indicative only. The client must appoint a drainage survey and tracing company to ascertain the exact layout, depth and condition of the existing drainage prior to the commencement of any building works.



Drawing No. 003 rev A

07796124247  
paul@pmgltd.uk.com  
pmgltd.uk.com





The drawings, details and specifications are solely for the purpose of seeking Planning and Building Regulation approvals. They are not intended as a specification of works, and PMG Ltd accepts no liability should they be used in this manner.

Drawing to be read in conjunction with specification, details notes and any specialist design elements. Any works carried out prior to approval are done so at the clients/builders own risk.

The contractor is responsible for checking all scaled and stated dimensions prior to commencement on site. The length of all structural elements are to be checked on site prior to placing orders.

The builder is to expose any existing structural elements (foundations, walls, lintels, floors, beams, roofs etc) which are accepting additional loads for Building Control and client approval prior to commencement.

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Any boundaries shown on the plan are their assumed location/line and the client should check the precise line of any boundaries prior to commencement. No works to project over the boundary line.

Client is to resolve all matters relating to the Party Wall etc Act 1996 prior to commencing building works.

PMG Ltd will not be liable for the accuracy of any hidden details, such as wall constructions, lintels, existing beams, foundations, drainage, etc. It is the responsibility of the client and his appointed contractor to expose all hidden features prior to commencement of any building works. The client should arrange for all drainage to be surveyed and traced prior to commencement to ensure that the drainage layouts shown on the plans are correct. The client should arrange for a trial hole to be excavated, prior to commencement, and for Building Control inspection to allow the proposed foundation type and depth to be agreed.

All drainage layouts shown on the plans are indicative only. The client must appoint a drainage survey and tracing company to ascertain the exact layout, depth and condition of the existing drainage prior to the commencement of any building works.

**Project Title**  
**Proposed Extension & Garage Conversion**  
**12 Fry Close**  
**Hamble**  
**Hampshire**  
**SO31 4PF**

**Drawing Title**  
**Proposed Plans**

**Client**  
**Mr & Mrs Williams**

**Date**  
**June 2018**

**Scale:**  
**1:50, 1:100 at A1**

**Drawing No.**  
**002 rev A**

**PMG**  
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**PMG (Building Design & Consultancy) Ltd**  
**Woodlands**  
**10 Persian Drive**  
**Whiteley**  
**Fareham**  
**Hampshire**  
**PO15 7BJ**

**07796124247**  
**paul@pmgld.uk.com**  
**pmgld.uk.com**



### 17. Residential Units

Proposed Key Worker Housing Total

Existing Key Worker Housing Total

### 18. All Types of Development: Non-residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

☐ Yes ☒ No

### 19. Employment

No Employment details were submitted for this application

### 20. Hours of Opening

No Hours of Opening details were submitted for this application

### 21. Site Area

What is the site area?

25.50

sq.metres

### 22. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

Is the proposal for a waste management development?

☐ Yes ☒ No

If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make clear what information it requires on its website.

### 23. Hazardous Substances

Is any hazardous waste involved in the proposal?

☐ Yes ☒ No

#### A. Toxic substances

Amount held on site

Tonne(s)

#### B. Highly reactive/explosive substances

Amount held on site

Tonne(s)

#### C. Flammable substances (unless specifically named in parts A and B)

Amount held on site

Tonne(s)

### 24. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes ☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

## 16. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or waste?

☐ Yes ☒ No

## 17. Residential Units

Does your proposal include the gain or loss of residential units?

☐ Yes ☒ No

### Market Housing - Proposed

	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Market Housing Total

### Social Rented Housing - Proposed

	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Social Housing Total

### Intermediate Housing - Proposed

	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Intermediate Housing Total

### Key Worker Housing - Proposed

	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

### Market Housing - Existing

	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Market Housing Total

### Social Rented Housing - Existing

	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Social Housing Total

### Intermediate Housing - Existing

	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Intermediate Housing Total

### Key Worker Housing - Existing

	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

## 12. Assessment of Flood Risk

If Yes, you will need to submit an appropriate flood risk assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

☐ Yes ☒ No

Will the proposal increase the flood risk elsewhere?

☐ Yes ☒ No

How will surface water be disposed of?

☐ Sustainable drainage system

☒ Main sewer

☐ Pond/lake

☐ Soakaway

☐ Existing watercourse

## 13. Biodiversity and Geological Conservation

To assist in answering the following questions refer to the guidance notes for further information on when there is a reasonable likelihood that any important biodiversity or geological conservation features may be present or nearby and whether they are likely to be affected by your proposals.

Having referred to the guidance notes, is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, OR on land adjacent to or near the application site:

a) Protected and priority species

☐ Yes, on the development site

☐ Yes, on land adjacent to or near the proposed development

☒ No

b) Designated sites, important habitats or other biodiversity features

☐ Yes, on the development site

☐ Yes, on land adjacent to or near the proposed development

☒ No

c) Features of geological conservation importance

☐ Yes, on the development site

☐ Yes, on land adjacent to or near the proposed development

☒ No

## 14. Existing Use

Please describe the current use of the site:

We currently have paving and would like to extend our family house due to a new addition.

Is the site currently vacant?

☒ Yes ☐ No

If Yes, please describe the last use of the site:

Paving area

When did this use end (if known) (DD/MM/YYYY)?

Does the proposal involve any of the following?

If yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated?

☐ Yes ☒ No

Land where contamination is suspected for all or part of the site?

☐ Yes ☒ No

A proposed use that would be particularly vulnerable to the presence of contamination?

☐ Yes ☒ No

## 15. Trees and Hedges

Are there trees or hedges on the proposed development site?

☐ Yes ☒ No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

☐ Yes ☒ No

If Yes to either or both of the above, you may need to provide a full Tree Survey, at the discretion of your local planning authority. If a Tree Survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

## 8. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

☐ Yes ☒ No

## 9. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

### Roof - description:

Description of *existing* materials and finishes:

Description of *proposed* materials and finishes:

Same as existing roof

### Walls - description:

Description of *existing* materials and finishes:

Description of *proposed* materials and finishes:

Bricks plus plastering

### Windows - description:

Description of *existing* materials and finishes:

Description of *proposed* materials and finishes:

Double glazing

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

☒ Yes ☐ No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

Dwg plans 00218  
Dag plans 00219  
Ds\_bos-101406 (granted by Southern Water if we comply to their requirements, approved by my builder)  
Site plan

## 10. Vehicle Parking

No Vehicle Parking details were submitted for this application

## 11. Foul Sewage

Please state how foul sewage is to be disposed of:

Mains sewer	<input checked="" type="checkbox"/>	Package treatment plant	<input type="checkbox"/>	Unknown	<input type="checkbox"/>
Septic tank	<input type="checkbox"/>	Cess pit	<input type="checkbox"/>	Other	<input type="checkbox"/>

Are you proposing to connect to the existing drainage system?

☒ Yes ☐ No ☐ Unknown

If Yes, please include the details of the existing system on the application drawings and state references for the plan(s)/drawing(s):

Please see attached letter and drawing from Southern Water

## 12. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)

☐ Yes ☒ No

#### 4. Site Address Details

Full postal address of the site (including full postcode where available)

Description:

House:  Suffix:

House name:

Street address:

Town/City:

Postcode:

Description of location or a grid reference  
(must be completed if postcode is not known):

Easting:

Northing:

#### 5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☒ Yes ☐ No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title:  First name:  Surname:

Reference:

Date (DD/MM/YYYY):  (Must be pre-application submission)

Details of the pre-application advice received:

#### 6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Are there any new public roads to be provided within the site?

☐ Yes ☒ No

Are there any new public rights of way to be provided within or adjacent to the site?

☐ Yes ☒ No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

☐ Yes ☒ No

#### 7. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

☒ Yes ☐ No

If Yes, please provide details:

Have arrangements been made for the separate storage and collection of recyclable waste?

☐ Yes ☒ No

## Development Management

Eastleigh House, Upper Market Street, Eastleigh, SO50 9YN

Tel: 023 8068 8264 [www.eastleigh.gov.uk](http://www.eastleigh.gov.uk)

Office hours: Mon-Thurs 8.30am - 5pm, Friday 8.30am - 4.30pm



### Application for Planning Permission. Town and Country Planning Act 1990

#### Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website.

If you require any further clarification, please contact the Authority's planning department.

#### 1. Applicant Name, Address and Contact Details

Title:	<input type="text" value="Mr"/>	First Name:	<input type="text" value="Bruno"/>	Surname:	<input type="text" value="Bosser"/>
Company name:	<input type="text"/>				
Street address:	<input type="text" value="54"/>				
	<input type="text" value="Astral Gardens"/>				
	<input type="text"/>				
Town/City:	<input type="text" value="Hamble-Le-Rice"/>				
Country:	<input type="text"/>				
Postcode:	<input type="text" value="SO31 4RY"/>				
	<input type="text"/>				
Are you an agent acting on behalf of the applicant?					
<input type="radio"/> Yes <input checked="" type="radio"/> No					

#### 2. Agent Name, Address and Contact Details

No Agent details were submitted for this application

#### 3. Description of the Proposal

Please describe the proposed development including any change of use:

Has the building, work or change of use already started? ☐ Yes ☒ No

## 24. Site Visit

☐ The agent ☒ The applicant ☐ Other person

## 25. Certificates (Certificate A)

### Certificate of Ownership - Certificate A

#### Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding ("*agricultural holding*" has the meaning given by reference to the definition of "*agricultural tenant*" in section 65(8) of the Act).

Title:  First name:  Surname:   
Person role:  Declaration date:  ☒ Declaration made

## 26. Declaration

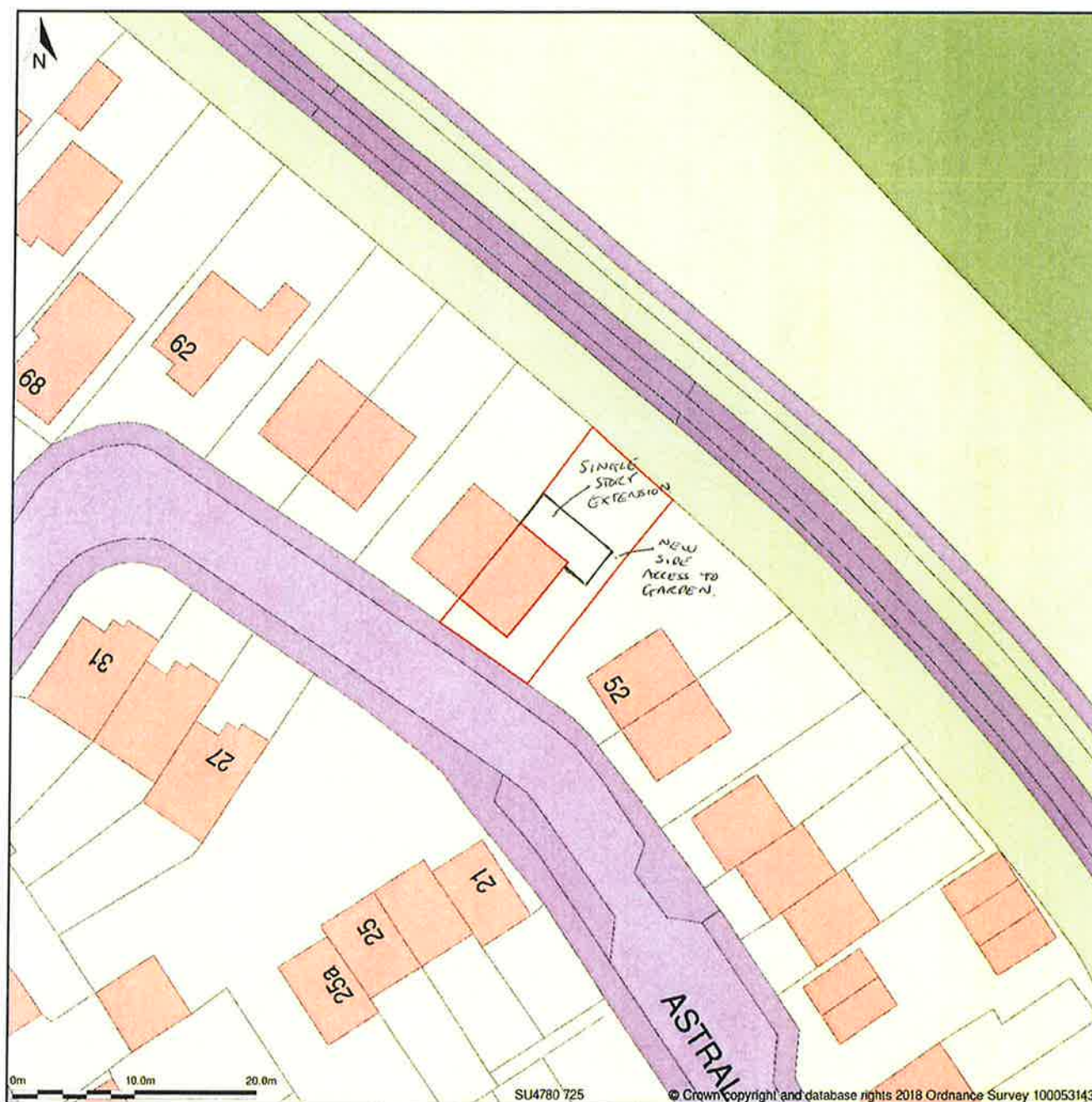
I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.



Date



54, Astral Gardens, Hamble-le-rice, Hampshire, SO31 4RY

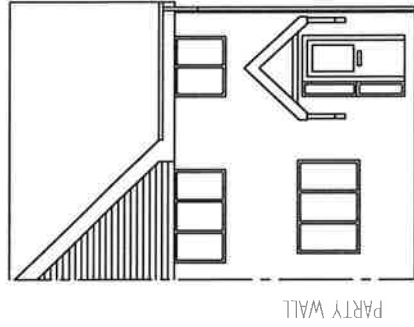


Block Plan shows area bounded by: 447756.44, 107213.92 447846.44, 107303.92 (at a scale of 1:500), OSGridRef: SU4780 725. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a properly boundary.

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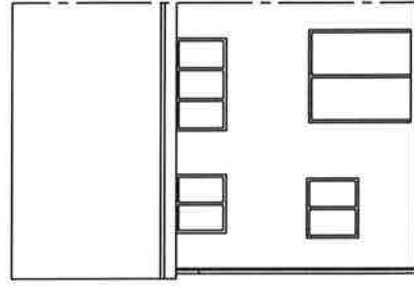
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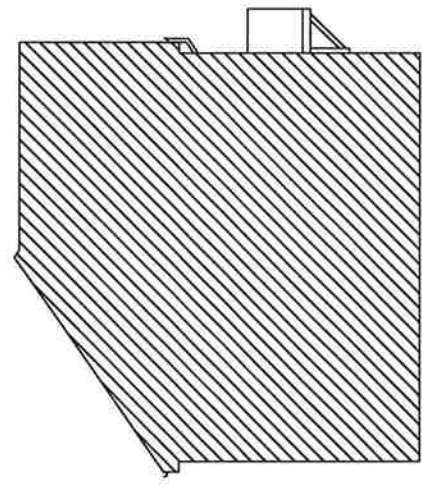
PARTY WALL

EXISTING FRONT ELEVATION  
(SOUTH WEST FACING)

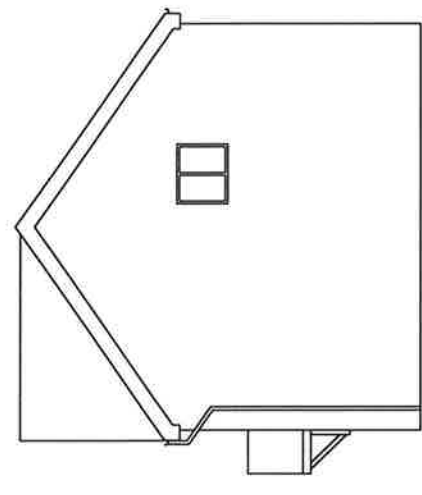


PARTY WALL

EXISTING REAR ELEVATION  
(NORTH EAST FACING)



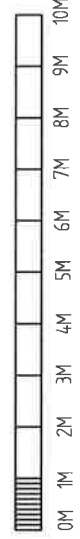
EXISTING SIDE ELEVATION  
(NORTH WEST FACING)



EXISTING SIDE ELEVATION  
(SOUTH EAST FACING)

NOTES

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  - 2) THE CONTRACTOR, SUB-CONTRACTOR OR SUPPLIER IS TO CHECK ALL RELEVANT DIMENSIONS, LEVELS, EXISTING STRUCTURE AND MATERIALS PRIOR TO COMMENCING THE WORKS.
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DIMENSIONS ARE IN MILLIMETERS

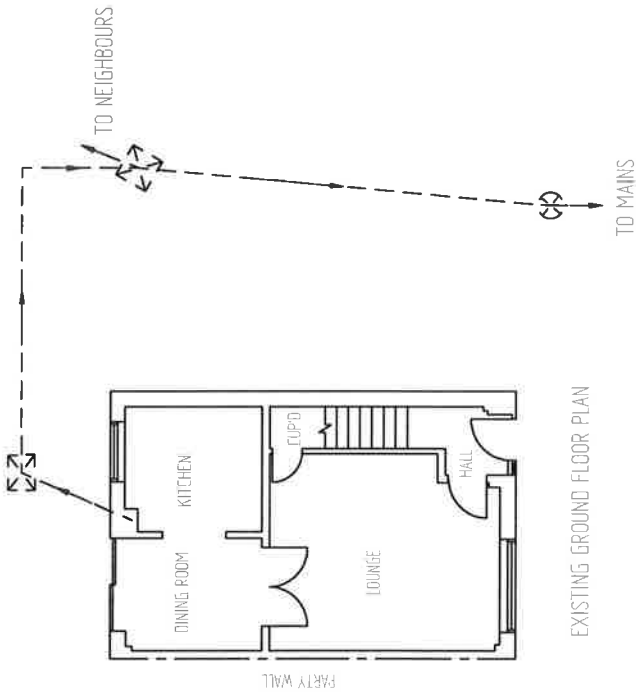
DRAWN	NAME	DATE
PRB		18/04/18

DWG PLANS		14 Winstanley Road, Nursling, Southampton, SO16 0TF	
Mobile: 07851229345, Email: info@dwgplans.co.uk			
TITLE		Existing Elevations	
SIZE		54 Astral Gardens, Southampton	
A3		DWG PLANS 00217	
CLIENT		Mr & Mrs West	
SCALE: 1:100 @ A3		SHEET 1 of 1	

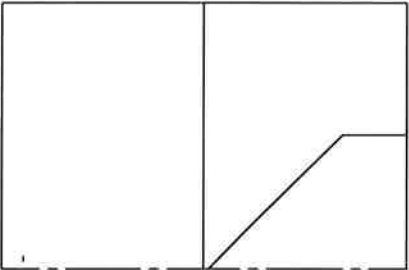


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EXISTING GROUND FLOOR PLAN



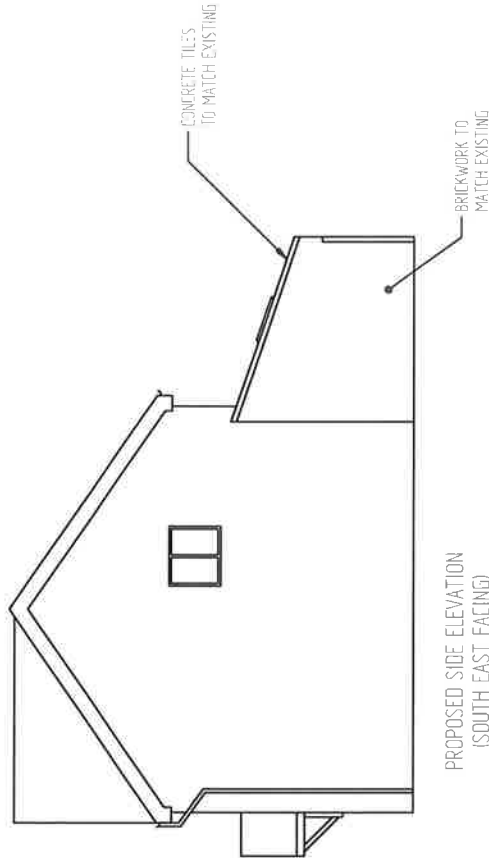
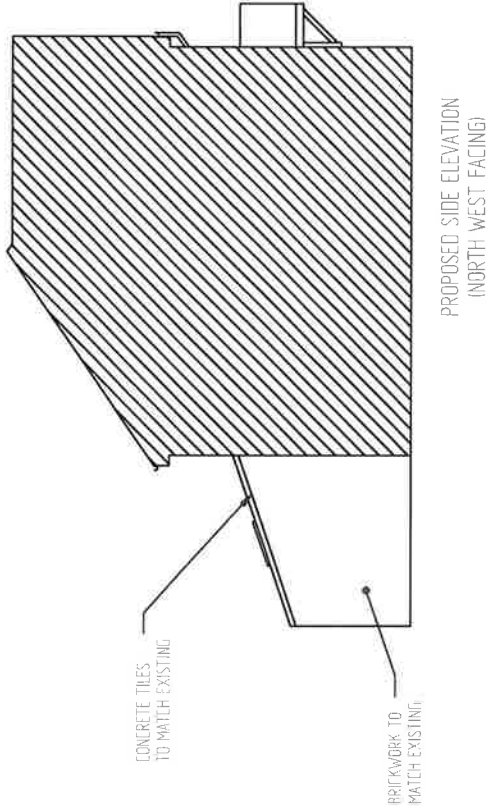
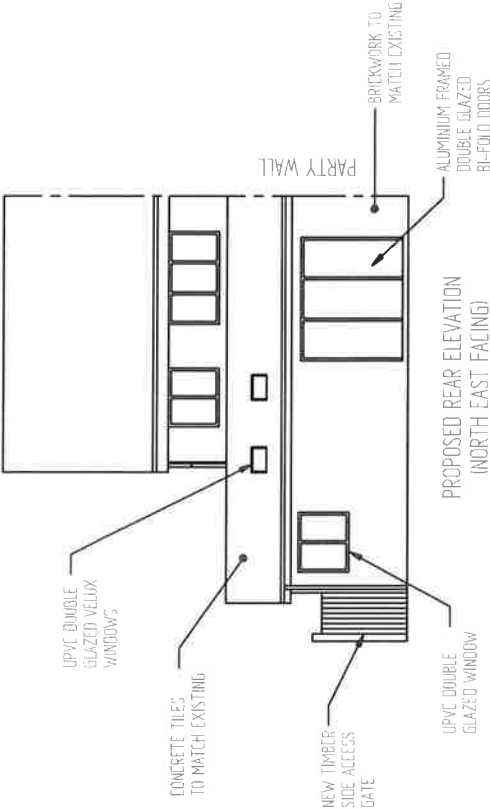
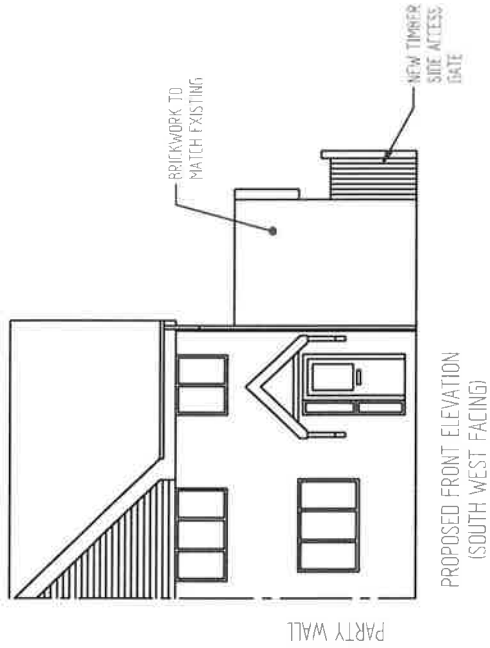
EXISTING ROOF PLAN



DWG PLANS		14 Winstanley Road, Nursling, Southampton, SO16 0TF	
Mobile: 07851229345, Email: info@dwgplans.co.uk			
TITLE	NAME	DATE	REV
Existing Floor & Roof Plan	PRB	18/04/18	A
54 Astral Gardens, Southampton			
SIZE	DWG NO	DWG PLANS 00216	REV
A3			A
CLIENT: Mr & Mrs West			
SCALE: 1:100 @ A3		SHEET 1 of 1	

UNLESS OTHERWISE SPECIFIED  
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NOTES

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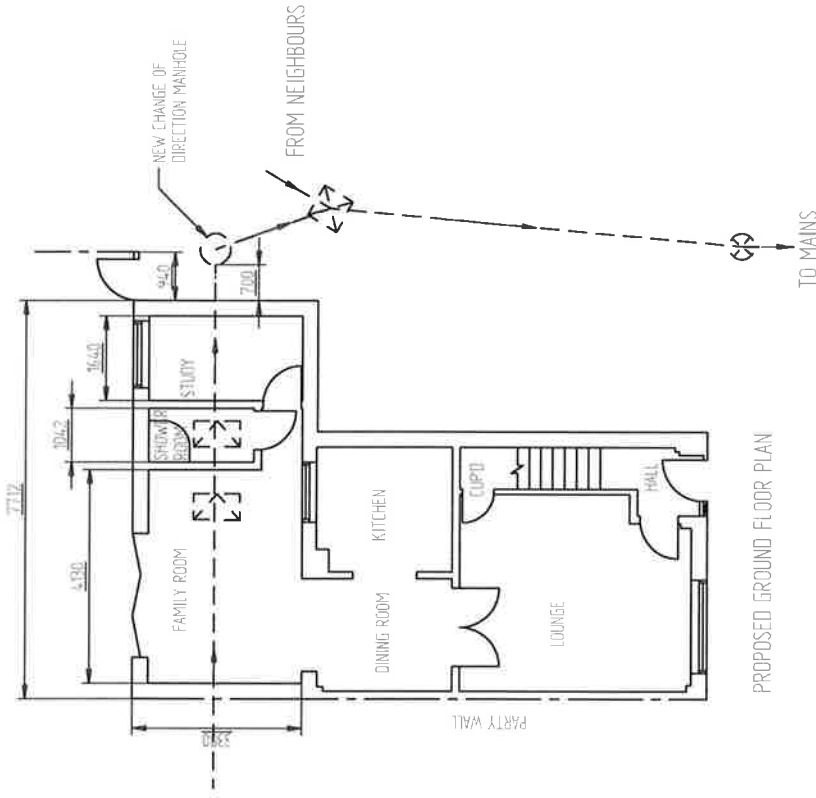


DRAWN	NAME	DATE
	PRB	18/04/18

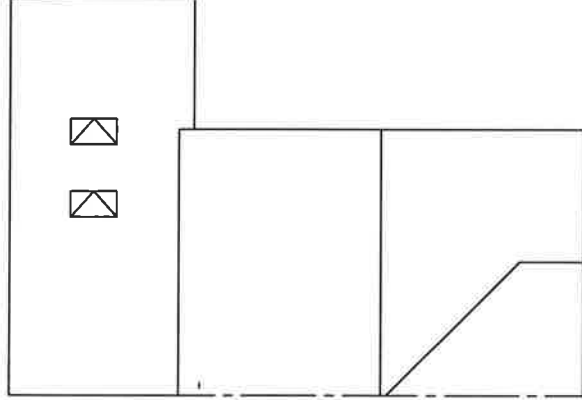
UNLESS OTHERWISE SPECIFIED  
DIMENSIONS ARE IN MILLIMETERS

DWG PLANS		14, Winstanley Road, Nursling, Southampton, SO16 0TF	
Mobile: 07851229345, Email: <a href="mailto:info@dwgplans.co.uk">info@dwgplans.co.uk</a>			
TITLE		Proposed Elevations	
		54 Astral Gardens, Southampton	
SIZE	DWG NO	DWG PLANS 00219	REV
A3			A
CLIENT		Mr & Mrs West	
SCALE		1:100 @ A3	
		SHEET 1 of 1	





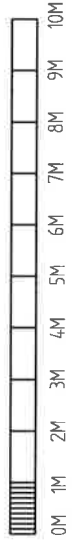
PROPOSED GROUND FLOOR PLAN



PROPOSED ROOF PLAN

NOTES

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DWG PLANS		14 Winstanley Road, Nursling, Southampton, SO16 0TF		Mobile: 07851229345, Email: info@dwgplans.co.uk						
TITLE		Proposed Floor & Roof Plan		54 Astral Gardens, Southampton						
DRAWN	NAME	PRB	DATE	18/04/18	REV					
					A					
					SIZE		DWG NO		DWG PLANS 002'18	
					A3				A	
					CLIENT: Mr & Mrs West		SCALE: 1:100 @ A3		SHEET 1 of 1	

UNLESS OTHERWISE SPECIFIED  
DIMENSIONS ARE IN MILLIMETERS





Mr. B Bosser  
54 Astral Gardens  
Hamble  
Southampton  
Hampshire  
SO31 4RY

Developer Services  
Southern Water  
Sparrowgrove House  
Sparrowgrove  
Otterbourne  
Hampshire  
SO21 2SW

Tel: 0330 303 0119

Email: [developerservices@southernwater.co.uk](mailto:developerservices@southernwater.co.uk)

6<sup>th</sup> June 2018

Our Ref: DS\_BOS-101406

**Building Over/Adjacent to Public Sewers - Building Regulations 2010 (as amended).**

**Location:** 54 Astral Gardens, Hamble, Southampton, Hampshire SO31 4RY.

Dear Mr Bosser,

Thank you for your revised plan, which we received on 31.05.2018.

We have reviewed your application, the revised plan and the CCTV survey recently carried out on the public sewer affected by your proposed rear extension at the above site address. We are prepared to grant conditional approval to build over/near the public sewer at this address. This approval is not an approval of your proposed plans but approval to build over to the sewer subject to you meeting the following conditions.

1. No structure (footings, walls etc) running parallel to the line of the existing 100mm public foul sewer is permitted within 500mm of the sewer/manhole.
2. Where within 3.00m of the sewer, foundations must be taken a minimum of 150mm below the invert level of the sewer/manhole. The depth of the sewer is approximately 1.50m deep below ground level at the time of survey.
3. Southern Water do not permit internal public manholes, foundations over or within 500mm to the pipes where there is a change of direction of pipe works (sewers/manholes) and a build over of polyvinyl chloride (PVC) material pipes. Therefore, as per your revised plan, the existing manhole IC1 along with the entire length of the existing pipe, needs to be removed and rerouted by new 100mm vitrified clay material pipe till the existing manhole (IC1) and any change of direction of pipe should be facilitated by a new manhole. The new pipe work laid in straight lines under and outside of the extension and laid with a 150mm thickness granular bed & surround in accordance with Sewers for Adoption (7<sup>th</sup> edition) and should have a gradient that complies with Sewers for Adoption (7<sup>th</sup> edition) B4 (9) and C4 (9) - A 100mm diameter sewer should be laid to a gradient no flatter than 1:80. The proposed new manhole on the public sewer line would need to be built in either brick or concrete sections as per Figure B.19 or B.23 in Sewers for Adoption (7<sup>th</sup> edition) [Full version] – August 2012 or Figure B.12 or B.16 in Sewers for Adoption - A Design and Construction Guide for Developers–Small Developments Version –September 2013 and would need to be constructed at least 500mm from the foundations/walls of the building to the outside face of the chamber. It should be

Southern Water Sparrowgrove House Otterbourne Winchester SO21 2SW [www.southernwater.co.uk](http://www.southernwater.co.uk)

the chamber. It should be noted that any existing connections to the sewer will have to be reconnected to a new manhole or to the pipework by oblique or y connections and these connections should be in vitrified clay.

**Please note, the new extended pipe work/diversionary work on the neighbours property, 52 Astral Gardens should be confirmed in writing with the appropriate paperwork and that they have agreed to the sewer diversion works being carried out on their property.**

4. The sewer is to be bridged by PCC lintels (where applicable). Please ensure that no additional load is transferred onto the sewer, adequate protection is provided and construction works adheres to Building Control specifications.
5. The re-laid vitrified clay pipework and a new manhole, needs to be inspected by the Southern Water Clerk of Works. Please note that a minimum of 48 hours' notice will be required for a clerk of works visit and any new pipe work and connections should be left exposed and not back filled so that they can be viewed by the clerk of works carrying out the inspection. The clerk of works for your area is Andy Gayle and his contact number is 07788 183938.
6. Any additional new connections to the public sewerage system will require a Section 106 connection application to be submitted and approved by Southern Water Services. Please note that, where there are separate systems available Southern Water will not allow surface water to connect into the public foul sewer. If this is not possible, please provide evidence that all other options have been explored.
7. Care must be taken when working in the area of the public sewer pipeline so that no damage is caused, as any damage will be repaired at the client's expense.

Should these conditions conflict with your proposed development it will be necessary to revise your proposals and resubmit your revised drawings to us at the address below.

We refer you to Southern Water Health and Safety Advisory which can be viewed in the Developer and Builders section of the Southern Water website as in the link below:

<https://www.southernwater.co.uk/health-safety-advisory>

This approval is given on the basis that you will review this Advisory and take the necessary actions with regards to Health and Safety.

If you require any further information regarding this matter, please do not hesitate to contact us on the above telephone number.

Yours sincerely,

Phil Davis  
**Developer Services**



If you would rather make this application online, you can do so on our website:  
<https://www.planningportal.co.uk/apply>

## Application for consent to display an advertisement(s)

### Town and Country Planning (Control of Advertisements) (England) Regulations 2007

#### Privacy Notice

This form is provided by Planning Portal and based on the requirements provided by Government for the sole purpose of submitting information to the Local Planning Authority in accordance with the legislation detailed on this form.

Please be aware that once you have downloaded this form, Planning Portal will have no access to the form or the data you enter into it. Any subsequent use of this form is solely at your discretion, including the choice to complete and submit it to the Local Planning Authority in agreement with the declaration section.

Upon receipt of this form and any supporting information, it is the responsibility of the Local Planning Authority to inform you of its obligations in regards to the processing of your application. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

#### Local Planning Authority details:

##### Development Management

Eastleigh House, Upper Market Street, Eastleigh, SO50 9YN

Tel: 023 8068 8264 [www.eastleigh.gov.uk](http://www.eastleigh.gov.uk)

Office hours: Mon-Thurs 8.30am - 5pm, Friday 8.30am - 4.30pm



#### Publication of applications on planning authority websites

Information provided on this form and in supporting documents may be published on the authority's planning register and website.

Please ensure that the information you submit is accurate and correct and does not include personal or sensitive information. If you require any further clarification, please contact the Local Planning Authority directly.

If printed, please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes and help text as incorrect completion will delay the processing of your application.

#### 1. Applicant Name and Address

Title:		First name:	
Last name:			
Company (optional):	MARINA DEVELOPMENTS LTD.		
Unit:		House number:	
		House suffix:	
House name:	OUTLOOK HOUSE		
Address 1:	HAMBLE POINT		
Address 2:	SCHOOL LANE		
Address 3:	HAMBLE		
Town:	SOUTHAMPTON		
County:	HAMPSHIRE		
Country:	UNITED KINGDOM		
Postcode:	SO 31 4ND		

#### 2. Agent Name and Address

Title:		First name:	
Last name:			
Company (optional):	CANKORD CLIFFS ARCHITECTS		
Unit:		House number:	28
		House suffix:	
House name:			
Address 1:	HAVEN ROAD		
Address 2:	CANKORD CLIFFS		
Address 3:			
Town:	POOLE		
County:	DORSET		
Country:	UNITED KINGDOM		
Postcode:	BH 15 7LP		

### 3. Site Address Details

Please provide the full postal address of the application site.

Unit:  House number:  House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Postcode (optional):

Description of location or a grid reference.  
(must be completed if postcode is not known):

Easting:  Northing:

Description:

### 4. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? ☐ Yes ☒ No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much as possible: ☐

Officer name:

Reference:

Date (DD/MM/YYYY):   
(must be pre-application submission)

Details of pre-application advice received?

### 5. Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal? ☐ Yes ☒ No

If Yes, please provide details:

### 6. Authority Employee / Member

With respect to the Authority, I am: Do any of these statements apply to you?  
(a) a member of staff ☐ Yes ☒ No  
(b) an elected member ☐ Yes ☒ No  
(c) related to a member of staff  
(d) related to an elected member

If Yes, please provide details of the name, relationship and role

### 7. Type of Proposed Advertisement(s)

Please describe the proposed advertisement(s):

Please indicate the number of the following types of advertisement(s) you are applying for:	Number of advertisement(s)
Application for fascia sign(s)	
Application for a projecting or hanging sign(s)	
Application for a hoarding(s)	
Other <input type="text" value="ENTRANCE SIGN"/>	<input type="text" value="1"/>

If you selected Other, please describe:

### 8. Location of Advertisement(s)

Is the advertisement you are applying for already in place? ☒ Yes ☐ No

If Yes, please provide details of when the use or work started:

Is an existing advertisement(s) to be removed and replaced by the advertisement(s) in this proposal?

☐ Yes ☒ No ☐ Not applicable

If Yes to either or both above, please show the existing sign(s) on an elevation drawing or photograph and state the references for the drawing(s) or photographs.

Will the proposed advertisement(s) project over a footpath or other public highway? ☐ Yes ☒ No

### 9. Advertisement Period

Please state the period of time for which consent is sought for the advertisement:

From 8. 2018.

To 8. 2023.

date (DD/MM/YYYY)

### 10. Interest in the Land

Does the applicant own the land or buildings where the adverts are to be placed?

☒ Yes

☐ No

If No, has the permission of the owner or any other person entitled to give permission for the display of an advertisement been obtained?

☐ Yes

☐ No

If No, why not?

### 11. Details of Proposed Advertisement(s)

Please provide a full description of each proposed advertisement (e.g. fascia sign, box sign, projecting sign, hoarding, flag etc)

	Advertisement 1	Advertisement 2	Advertisement 3
Type:	FIXED PANEL.		
a) The height from the ground to the base of the advertisement (in metres)	1.1.		
b) The dimensions of the proposed advertisement (H x W x D) (in metric)	0.9 x 2.4		
c) The maximum height of any of the individual letters and symbols (in metric)	0.62.		
d) The colour of the text and background	WHITE ON RAL 5009.		
e) Materials of the proposed sign(s)	COMPOSITE PLASTIC BOARD.		
f) The maximum projection of advertisement from the face of the building	N/A.		
Will any of the sign(s) be illuminated	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>	Yes <input type="checkbox"/> No <input type="checkbox"/>
If Yes for any of the proposed signs, answer g), h) and i)			
g) Details of method of illumination (internally illuminated/externally illuminated)			
h) illuminance levels (cd/m <sup>2</sup> )			
i) Will the illumination be static or intermittent?			

## 12. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority (LPA) has been submitted.

The original and 3 copies\* of a completed and dated application form:

Description of signs, size and The type of each sign for which application is being made, e.g. fascia, projecting box, pole-mounted free-standing, should be shown, together with the dimensions of each sign. If any of the signs are to be illuminated please describe the type of illumination, e.g. internal, external, floodlight, etc, and whether the illumination will be static, flashing, or have moving parts. The original and 3 copies\* of each description should be provided:

The original and 3 copies\* of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of north:

The correct fee:

☐

The drawing of the proposed advertisement should show its dimensions and position on the land or building in question. For a sign, the drawing should indicate the materials to be used, fixings, colours, height above the ground and, where it would project from a building, the extent of the projection. A site location plan should also be provided which identifies the proposed position of the advertisement and location of the site by reference to at least two named roads. It should be drawn to an identified scale and show the direction of North. Ordnance Survey maps are not required. Photographs and photomontages may be used. The original and 3 copies\* of each drawing should be provided:

☐

The original and 3 copies\* of other plans and drawings information necessary to describe the subject of the application:

☐☐☐☐

It is a condition of every consent granted by or under the Regulations that, before displaying any advertisement, the permission of the owner of the land or other person entitled to grant permission must be obtained. To display any advertisement without this permission is an offence, open to immediate prosecution.

Where the site is within the boundaries of a highway, evidence that the application is acceptable to the highway authority must be provided.

\*National legislation specifies that the applicant must provide the original plus three copies of the form and supporting documents (a total of four copies), unless the application is submitted electronically or, the LPA indicate that a smaller number of copies is required. LPAs may also accept supporting documents in electronic format by post (for example, on a CD, DVD or USB memory stick). You can check your LPA's website for information or contact their planning department to discuss these options.

## 13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Signed - Applicant:

Date DD/MM/YYYY:

30/05/2018 (date cannot be pre-application)

## 14. Applicant Contact Details

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

## 15. Agent Contact Details

Telephone numbers

Extension number:

## 16. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? ☒ Yes ☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☒ Agent

☐ Applicant

☐ Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name:

Telephone number:

Email address:

White framing + lettering  
Blue panel (RAL 5015)  
75x75 Post, White

White



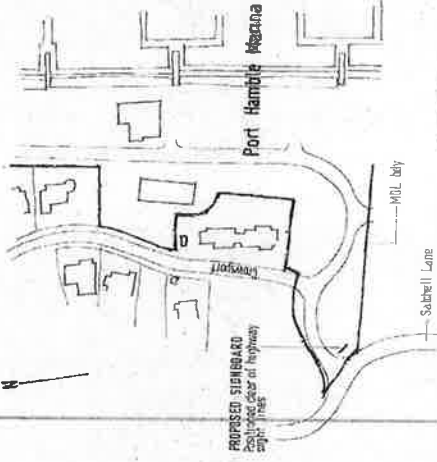
1100

4/5

2400

**ROAD FACE**  
1:10  
(Reverse face blank)

PANEL OF DIMENSIONAL SELF-ADHESIVE PLASTIC BOARD  
IN METAL FRAME



**LOCATION PLAN**

1:1250

THE MATERIALS IN THE SIGNPOSTS AT THE JUNCTION  
SHOWN HEREIN ARE TO BE USED IN THE SIGNPOSTS  
TO BE USED IN THE JUNCTION OF THE A102 AND THE A102  
TO BE USED IN THE JUNCTION OF THE A102 AND THE A102



**MARINA DEVELOPMENTS**

**project**  
**Proposed Signboard**  
**Port Hamble Marina**  
**Sabbell Lane - Hamble**

**title**

**Details**

**CALFORD CLIFFS ARCHITECTS**  
28 Havers Road, Calford, Glos  
People: B. G. 01452 788181  
Fax: 01452 788182  
E-mail: info@calfordcliffs.co.uk

**scale** 1:10 **date** 8.2.07

**project no** 2474 **sheet no** 3 **of** 3



## Development Management

Eastleigh House, Upper Market Street, Eastleigh, SO50 9YN

Tel: 023 8068 8264 [www.eastleigh.gov.uk](http://www.eastleigh.gov.uk)

Office hours: Mon-Thurs 8.30am - 5pm, Friday 8.30am - 4.30pm



### Application for removal or variation of a condition following grant of planning permission. Town and Country Planning Act 1990. Planning (Listed Buildings and Conservation Areas) Act 1990

#### Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

#### 1. Applicant Name, Address and Contact Details

Title:	Mr	First Name:	Darren	Surname:	Kennett
Company name:	Taylor Wimpey Southern Counties				
Street address:	Colvedene Court				
	Wessex Business park				
	Colden Common				
Town/City:	Winchester				
Country:	England				
Postcode:	SO21 1WP				
Are you an agent acting on behalf of the applicant?				<input type="radio"/> Yes	<input checked="" type="radio"/> No

#### 2. Agent Name, Address and Contact Details

No Agent details were submitted for this application

#### 3. Site Address Details

Full postal address of the site (including full postcode where available)		Description:
House:		Land to the West of Hamble Lane
Suffix:		
House name:		
Street address:	Land to the West of Hamble Lane	
	Bursledon	
Town/City:	Southampton	
Postcode:	SO318BR	
Description of location or a grid reference (must be completed if postcode is not known):		
Easting:	447672	
Northing:	110492	

#### 4. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☒ Yes ☐ No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title: Mr

First name:

Andrew

Surname:

Granfield

Reference:

Revised parking allocation

Date (DD/MM/YYYY):

30/03/2017

(Must be pre-application submission)

Details of the pre-application advice received:

As agreed at today's meeting, if you allocate two spaces to each of the shared ownership properties (53, 54) and the remaining 8 spaces can either be shared or communal (for plots 55 – 58) that would be acceptable. The 7 spaces currently provided for 114 - 117 plots can be amended for all communal to one allocated to each dwelling and three communal spaces. I can accept this as a NMA.

#### 5. Description of the Proposal

Please provide a description of the approved development as shown on the decision letter:

Construction of 150 dwellings with ancillary road, parking, footpaths, open space and pumping station

Application reference number:

R/15/76830

Date of decision:

18/01/2016

Please state the condition number(s) to which this application relates:

Condition number(s):

Condition 8

Has the development already started?

☒ Yes ☐ No

If Yes, please state when the development was started:

02/05/2016

Has the development been completed?

☐ Yes ☒ No

#### 6. Condition(s) - Removal

Please state why you wish the condition(s) to be removed or changed:

NMA Application to alter the parking distribution

If you wish the existing condition to be changed, please state how you wish the condition to be varied:

NMA application to vary the currently approved parking distribution

#### 7. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes ☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☐ The agent ☒ The applicant ☐ Other person

#### 8. Certificates (Certificate A)

##### Certificate of Ownership - Certificate A

##### Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding ("*agricultural holding*" has the meaning given by reference to the definition of "*agricultural tenant*" in section 65(8) of the Act).

Title: Mr

First name:

Darren

Surname:

Kennett

Person role:

APPLICANT

Declaration date:

19/02/2018

☒

Declaration made

## 9. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.



Date

19/02/2018









